



**A SPECIAL MEETING
OF THE WESLACO CITY COMMISSION
TUESDAY, JULY 25, 2017**

NOTICE IS HEREBY GIVEN THAT the City Commission of the City of Weslaco, Texas will hold a Special Meeting in the Legislative Chambers of City Hall, located at 255 South Kansas Avenue, on Tuesday, July 25, 2017 at 5:30 PM for the purpose of discussing the following items:

NOTE: If during the course of the meeting, any discussion of any item on the agenda should be held in executive or closed session, the Weslaco City Commission will convene in such executive or closed session whether or not such item is posted as an executive session item at any time during the meeting when authorized by the provisions of the Texas Open Meetings Act.

I. CALL TO ORDER

- A. Certification of Public Notice.
- B. Pledge of Allegiance.
- C. Mayoral recognition
- D. Roll Call.

II. PUBLIC COMMENTS

The Public Comments portion of the meeting promotes a fair and open process for the governance of the City. This portion of the meeting is not intended to be an extended discussion or a debate and is limited to three minutes for each presenter. Due to the Texas Open Meetings Act, the Mayor and City Commissioners do not reply; they listen. Matters under litigation are not to be addressed and comments regarding specific City employees and elected officials may be prohibited.

If you are discussing something not included on the agenda, the Commission cannot take any formal action until it is placed on an agenda and notice of the meeting is properly posted. Registration for Public Comments must be submitted to the City Secretary before the City Commission meeting is called to order. As the Mayor calls upon those who submitted a registration form with the City Secretary, please step to the podium and state your name and address before beginning your presentation.

III. NEW BUSINESS

- A. Discussion and consideration to select a firm for the Architectural Engineering Design Services for a new Fire Station and Combined Police/Central Fire Station. Possible action. (Staffed by the City Manager's Office.)
- B. Discussion and consideration to approve the Final Plat for The Jungle Subdivision being a 10.0 acre tract out of Farm Tract 658 West & Adams Tract Subdivision located on the north side of Mile 6 N. Road, approximately 600' west of Westgate Drive and authorize the Mayor to execute any related documents. Possible action. (Staffed by Planning and Code Enforcement.) Attachment

- C. Discussion and consideration to amend the Final Plat for The Villages at Westgate Subdivision, being 31.997 acre tract of land out of Farm Tract 145, Block 179, West Tract Subdivision located at the West intersection of Mile 6 West and approximately 1445 feet North of U.S. Expressway 83 North and authorize the Mayor to execute any related documents. Possible action. (Staffed by Planning and Code Enforcement.) Attachment

IV. EXECUTIVE SESSION

Texas Government Code, Section 551 Open Meetings:

§551.145. Closed Meeting Without Certified Agenda or Tape Recording; Offense; Penalty

(a) A member of a government body commits an offense if the member participates in a closed meeting of the governmental body knowing that a certified agenda of the closed meeting is not being kept or that a tape recording of the closed meeting is not being made.

(b) An offense under Subsection (a) is a Class C misdemeanor.

§551.146. Disclosure of Certified Agenda or Tape Recording of Closed Meeting; Offense; Penalty; Civil Liability

(a) An individual, corporation, or partnership that without lawful authority knowingly discloses to a member of the public the certified agenda or tape recording of a meeting that was lawfully closed to the public under this chapter:

(1) commits an offense; and (2) is liable to a person injured or damaged by the disclosure for:

(A) actual damages, including damages for personal injury or damage, lost wages, defamation, or mental or other emotional distress; (B) reasonable attorney fees and court costs; and (C) at the discretion of the trier of fact, exemplary damages.

(b) An offense under Subsection (a)(1) is a Class B misdemeanor.

(c) It is a defense to prosecution under Subsection (a)(1) and an affirmative defense to a civil action under Subsection (a)(2) that: (1) the defendant had good reason to believe the disclosure was lawful; or (2) the disclosure was the result of a mistake of fact concerning the nature or content of the certified agenda or tape recording. (Added by Acts 1993, 73rd Leg., ch 268, § 1, eff. Sept. 1, 1993.)

NOTE: Any documentation related to the following items will be maintained as part of the certified agenda.

- A. Personnel — Evaluation, interview and possible selection of Associate Municipal Judge(s) for the City of Weslaco as authorized by §551.074 of the Texas Government Code.

V. POSSIBLE ACTION ON WHAT IS DISCUSSED IN EXECUTIVE SESSION

VI. ADJOURNMENT

I hereby certify this **Notice of a Special Meeting of the Weslaco City Commission** was posted in accordance with the Open Meetings Act on the outside bulletin board at City Hall of the City of Weslaco, located at the 255 South Kansas Avenue entrance, visible and accessible to the general public during and after regular working hours. This notice was posted on this 21st day of July, 2017 at 3:10 p.m. and will remain so posted continuously for at least 72-hours preceding the scheduled time of this meeting in accordance with Chapter 551 of the Texas Government Code.

/s/ Elizabeth M. Walker, City Secretary

NOTE: If any accommodation for a disability is required, please notify the City Secretary's Office at (956) 968-3181, Ext. 3100 prior to the meeting date.

Removed from Bulletin Board

Date:

Initials:



Standardized Agenda Request Form

Date of Meeting: July 25, 2017		Agenda Item No. (to be assigned by CSO): 2017-1097	
From:			
Subject: Discussion and consideration to select a firm for the Architectural Engineering Design Services for a new Fire Station and Combined Police/Central Fire Station. Possible action. (Staffed by the City Manager's Office.)			
Background: ROFA, EGV and Alvarado Architectural Engineering Designs firms interviewed June 20, 2017 with the City Commission.			
Funding Source (budget code, if applicable):			
Amount:	Term of Impact:	Identified in Current Budget:	
Additional Action Prompted:			
If item previously considered, provide date and action by Commission:			
If item requires Publication Notice, provide date and periodical of publication; indicate if comments received from letters mailed to property owners:			
Advisory Review, if any (name of board/committee, date of action, recommendation):			
Elizabeth Walker		Created/Initiated	
Mike Perez		Final Approval	
City Manager Comments:			
Staff Recommendation:			
Attachments, if any:			
Responsibilities upon Approval:			



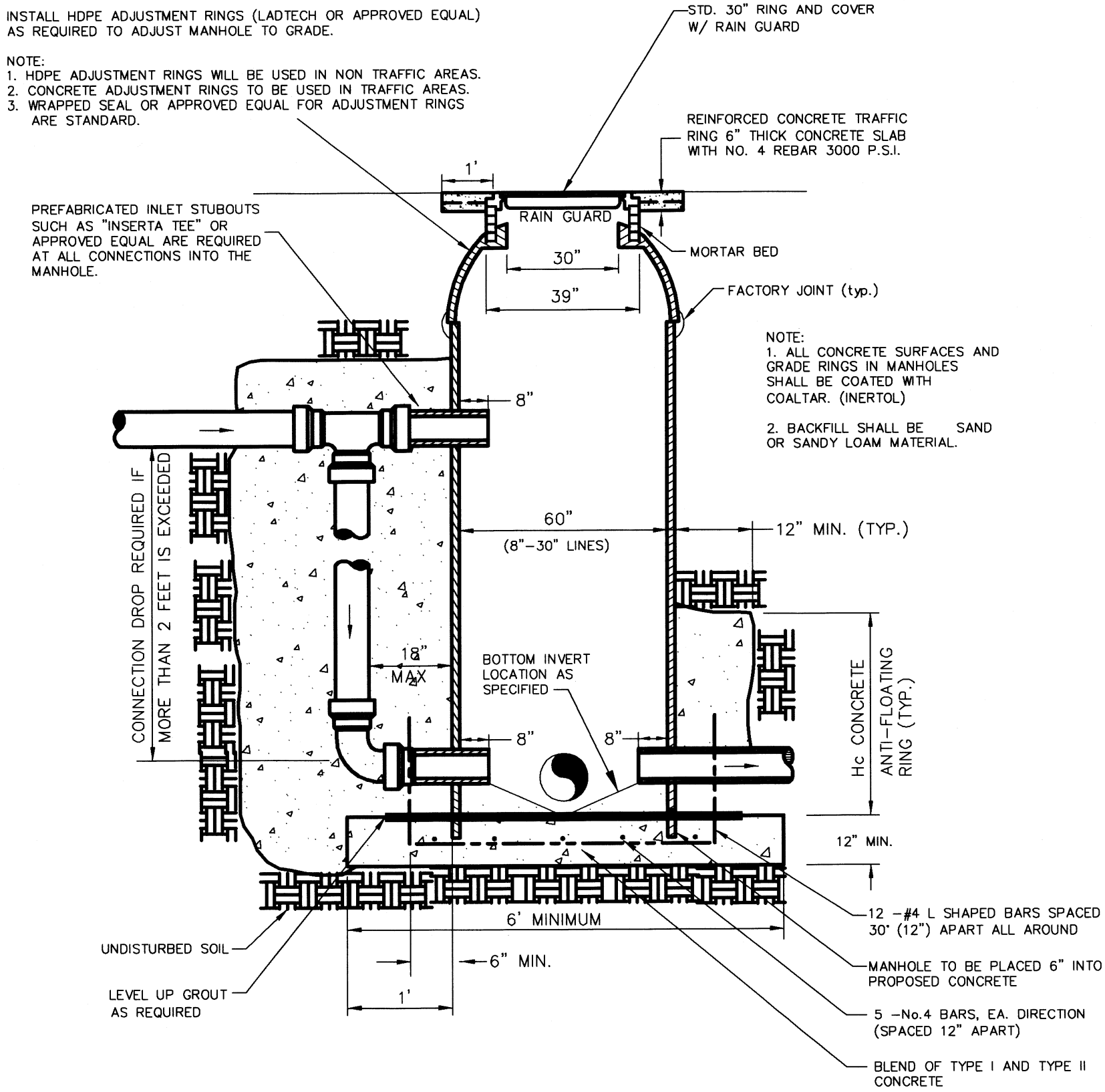
Standardized Agenda Request Form

Date of Meeting: July 25, 2017		Agenda Item No. (to be assigned by CSO): 2017-1075	
From: Mardoqueo Hinojosa			
Subject: Discussion and consideration to approve the Final Plat for The Jungle Subdivision being a 10.0 acre tract out of Farm Tract 658 West & Adams Tract Subdivision located on the north side of Mile 6 N. Road, approximately 600' west of Westgate Drive and authorize the Mayor to execute any related documents. Possible action. (Staffed by Planning and Code Enforcement.)			
Background: The proposed three (3) lot subdivision is within the City of Weslaco city limits. This subdivision is being serviced with water by M.H.W.S.C. through a 2" waterline and sewer through an 8" sanitary sewer line. A variance for a looped water line for fire hydrant installation is being requested, however, engineer has proposed to reduce the water line and avoid the need to loop. A note has been placed for lot 3 to keep a future home within 400 ft. of fire hydrant. A variance has also been requested to allow for the an access easement of a 26' paved access road to be construction at the time of Building Permit. The property is within a Flood Zone "B".			
Funding Source (budget code, if applicable):			
Amount:	Term of Impact:	Identified in Current Budget:	
Additional Action Prompted: Mayor's Signature			
If item previously considered, provide date and action by Commission:			
If item requires Publication Notice, provide date and periodical of publication; indicate if comments received from letters mailed to property owners:			
Advisory Review, if any (name of board/committee, date of action, recommendation): Planning and Zoning recommended approval of the final plat on July 5, 2017 with denial of the variances.			
Rebekah De La Fuente Mardoqueo Hinojosa Mike Perez		Created/Initiated Approved Final Approval	
City Manager Comments:			
Staff Recommendation: Staff recommends approval of the Final Plat and denial of variance.			
Attachments, if any: Subdivision Plat, Subdivision Attachments			

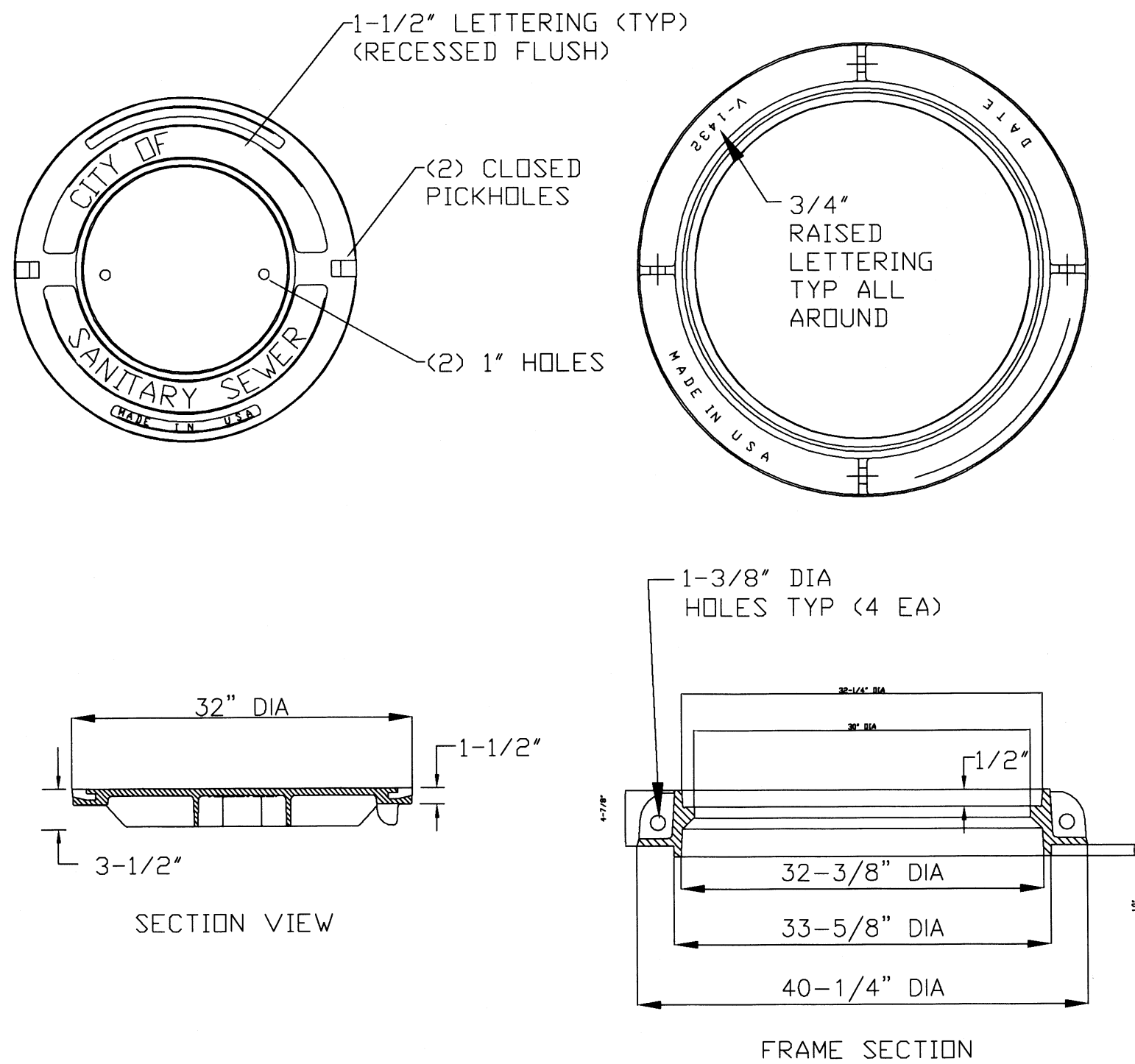
Responsibilities upon Approval:

Staff will advise applicant.

STANDARD SANITARY SEWER
CONSTRUCTION DETAILS



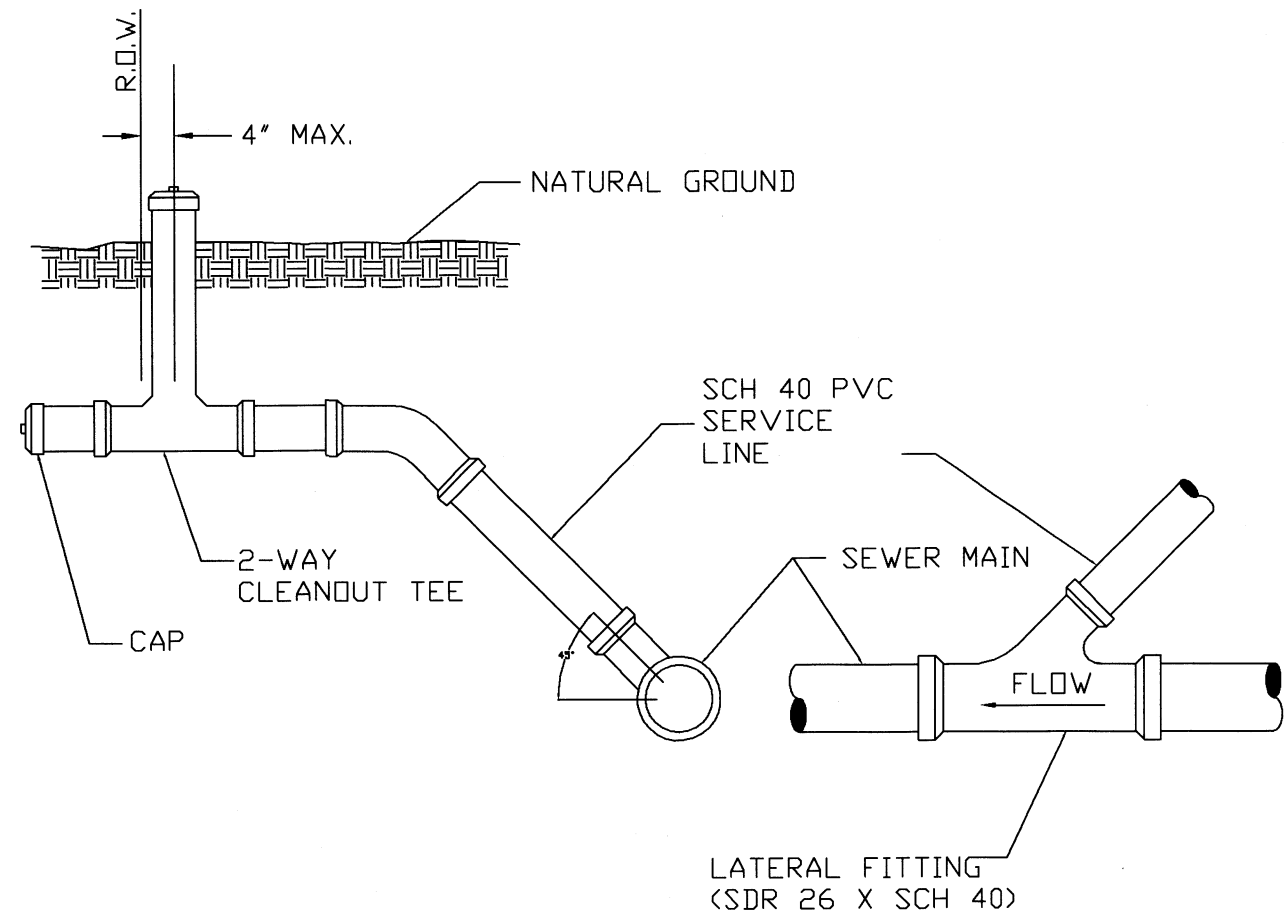
TYPICAL FIBERGLASS MANHOLE WITH EXTERIOR
DROP STRUCTURE IF REQUIRED



NOTES:

- FRAME AND COVER SHALL CONFORM TO REQUIREMENTS OF AASHTO M 306.
- FRAME AND COVER SHALL BE PROOF-LOAD TESTED TO 74,000 LBS.
- FRAME SHALL BE GRAY CAST IRON CONFORMING TO AASHTO M 105 CLASS 35B OR ASTM A48 CLASS 35B.
- COVER SHALL BE DUCTILE IRON CONFORMING TO ASTM A536 GRADE 80-55-06.

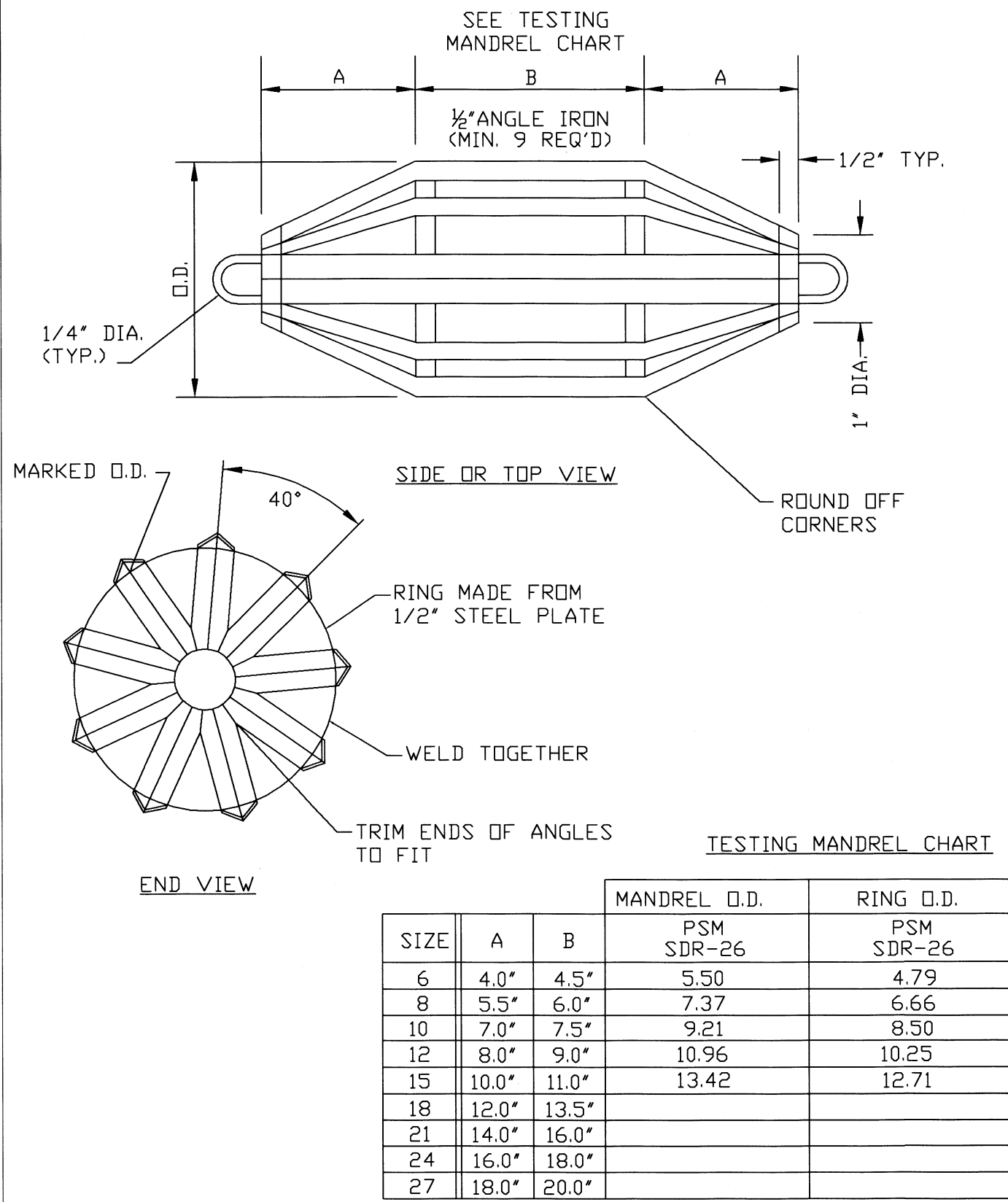
SANITARY SEWER MANHOLE STANDARD RING & COVER



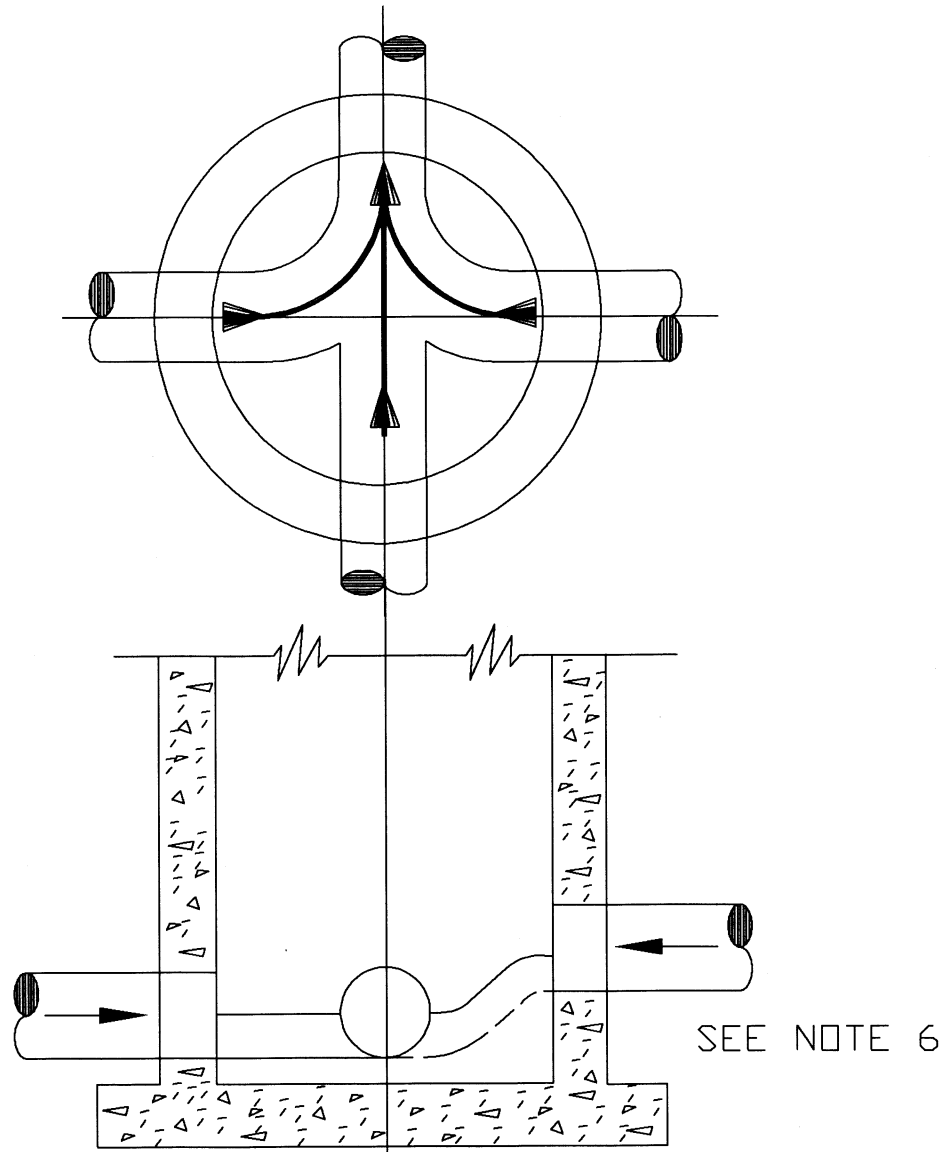
NOTES

- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
- SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.

STANDARD SERVICE CONNECTION



DEFLECTION TESTING MANDREL DETAIL



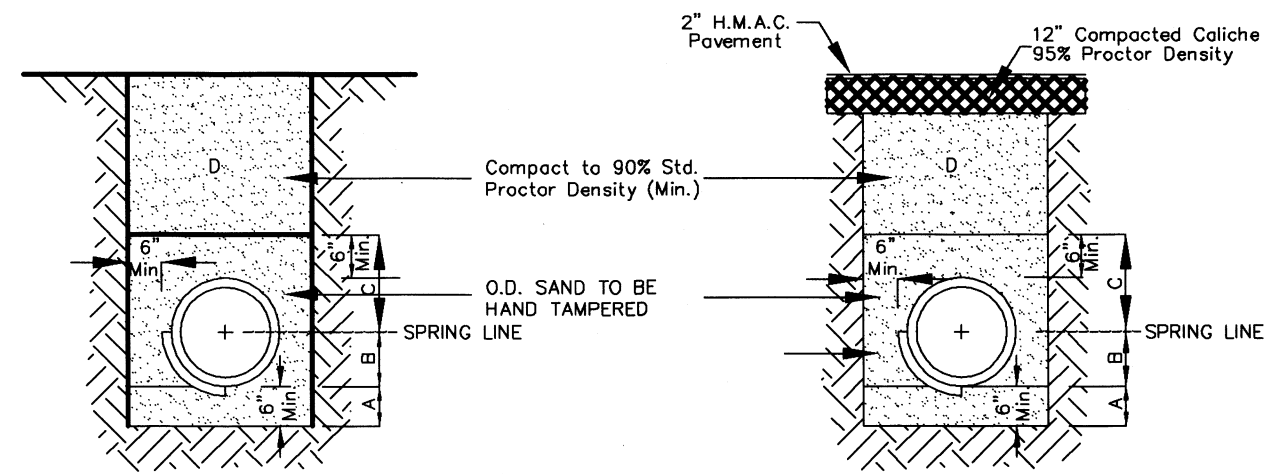
NOTES:

- ALL INVERT CHANNELS ARE TO BE CONSTRUCTED FOR SMOOTH FLOW WITHOUT OBSTRUCTION.
- PROPERLY SHAPED SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS TO PROVIDE FOR SMOOTH FLOWS.
- SERVICE LATERALS SHALL NOT ENTER MANHOLES UNLESS SPECIFIED ON PLANS AND THEN MUST BE TREATED AS MAINS (ELEVATIONS SHOWN, PRECAST HOLE, FLOW CHANNEL)
- APPROVED PRECAST CONCRETE OR FIELD INSTALLED CONCRETE FLOW CHANNEL IS REQUIRED.
- SIDEWALLS OF FLOW CHANNEL SHALL BE AT LEAST HALF OF PIPE HEIGHT AT ALL POINTS.
- NO INSIDE DROP LARGER THAN 6" SHALL BE ALLOWED WHEN THERE ARE MORE THAN 2 INVERTS OR WHEN THERE IS A CHANGE OF DIRECTION OF FLOW GREATER THAN 45 DEGREES.
- THE FIELD APPLIED CORROSION BARRIER SYSTEM SHALL BE INSTALLED AFTER INVERT CHANNEL CONSTRUCTION, THE CORROSION BARRIER SHALL NOT BE APPLIED TO THE FLOW CHANNEL

SANITARY SEWER MANHOLE INVERT DETAIL

NOTES:

- SHOULD A CONFLICT BETWEEN THIS STANDARD AND RECOMMENDATION OF ANY GEOTECHNICAL REPORT ARISE, WRITTEN APPROVAL MUST BE RECEIVED BY CONTRACTOR BY THE CITY OF WESLACO FOR INSTALLATION OF EITHER.
- WATERLINE IDENTIFIER TAPE ON NON METALLIC TAPE (COLOR CODED ONLY).



STANDARD PIPE BEDDING

- A. SAND BEDDING TO BE PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICKNESS = 6")
- B. SAND BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE. (4" LIFTS, WATER JET, HAND TAMPED)
- C. SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE. (6" LIFTS, HAND TAMPED)
- D. FILL TRENCH W/SELECT BACKFILL, W/8" LIFTS COMPACT TO 90% STD. PROCTOR

FOUNDATION PREPARATION (WELLPOINTS, GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY. THE THICKNESS OF EACH LOOSE LAYER SHALL BE SAND, APPROVED SITE SOIL OR OTHER APPROVED SUBSTITUTE.

WATER LINE - BACKFILL A,B,D
SEWER LINE - BACKFILL A,B,C,D
SAND TO BE ARROYO SAND W/ PI <15

STANDARD PIPE BEDDING

UNDER EXISTING PAVEMENT OR PROP. PAVEMENT

- A. SAND BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE. (MIN. THICKNESS = 6")
- B. SAND BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE. (4" LIFTS, WATER JET, HAND TAMPED).
- C. SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE. (6" LIFTS, HAND TAMPED).
- D. FILL TRENCH W/SAND, W/8" LIFTS COMPACT TO 90% STD. PROCTOR

FOUNDATION PREPARATION (WELLPOINTS, GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY. THE THICKNESS OF EACH LOOSE LAYER SHALL BE SAND, APPROVED SITE SOIL OR OTHER APPROVED SUBSTITUTE.

WATER LINE - BACKFILL A,B,D
SEWER LINE - BACKFILL A,B,C,D
SAND TO BE ARROYO SAND W/ PI <15

WATER PIPE BEDDING

317.13. Appendix E - Separation Distances.

The following rules apply to separation distances between potable water and wastewater treatment plants, and waterlines and sanitary sewers.

(a) Water line/new sewer line separation. When new sanitary sewers are installed, they shall be installed no closer to waterlines than nine feet in all directions. Sewers that parallel waterlines must be installed in separate trenches. Where the nine foot separation distance cannot be achieved, the following guidelines will apply:

(1) Where a sanitary sewer parallels a waterline, the sewer shall be constructed of cast iron, ductile iron or PVC meeting ASTM specifications with a pressure rating for both the pipe and joints of 150 psi. The vertical separation shall be a minimum of two feet between outside diameters and the horizontal separation shall be a minimum of four feet between outside diameters. The sewer shall be located below the waterline.

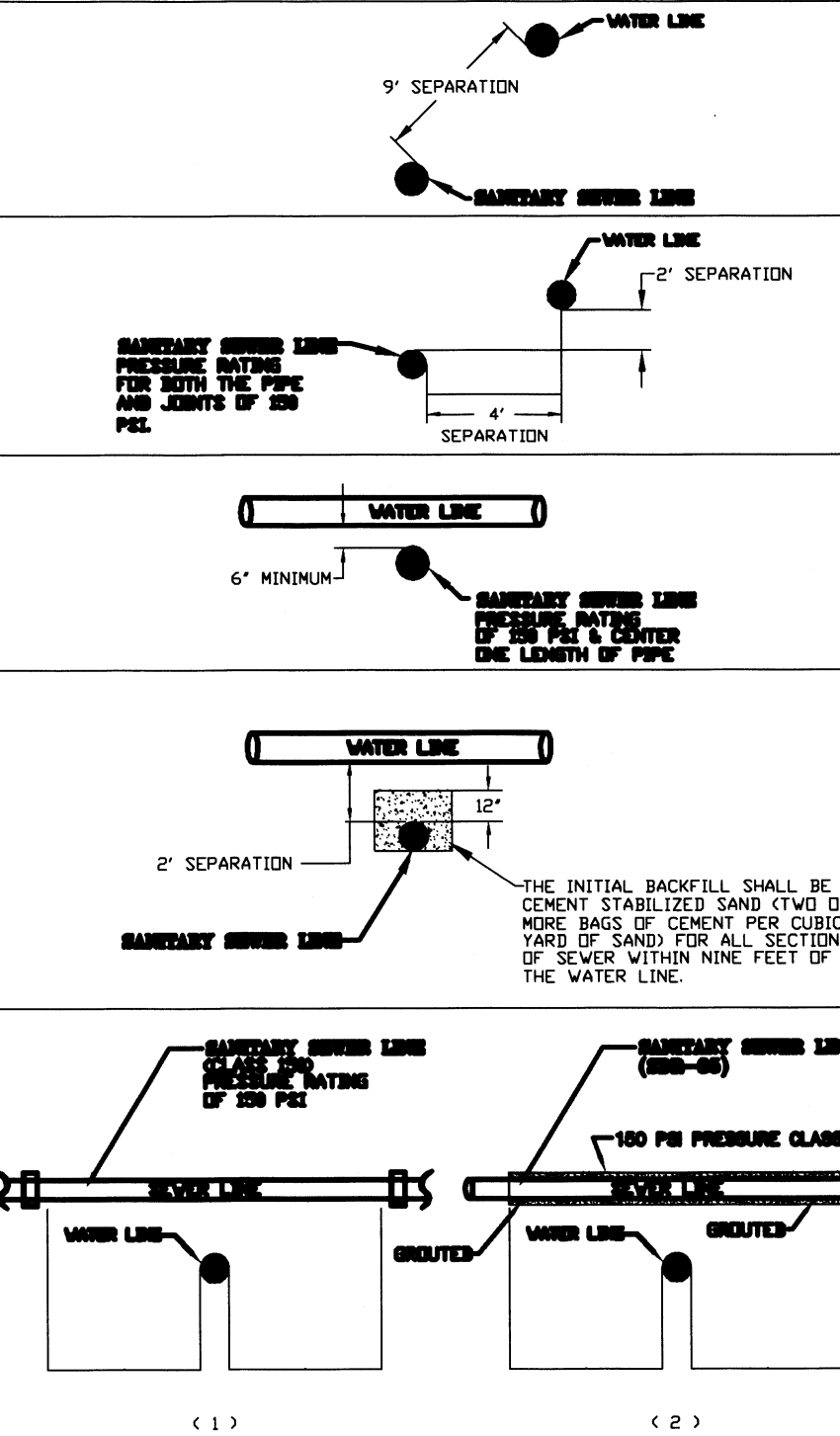
(2) Where a sanitary sewer crosses a waterline and the sewer is constructed of cast iron, ductile iron or PVC with a minimum pressure rating of 150 psi, an absolute minimum distance of 6 inches between outside diameters shall be maintained. In addition the sewer shall be located below the waterline where possible and one length of the sewer pipe must be centered on the waterline.

(3) Where a sewer crosses under a waterline and the sewer is constructed of ADS truss pipe, similar semi-rigid plastic composite pipe, clay pipe or concrete pipe with gasketed joints, a minimum two foot separation distance shall be maintained. The initial backfill shall be cement stabilized sand (two or more bags of cement per cubic yard of sand) for all sections of sewer within nine feet of the waterline. This initial backfill shall be from one quarter diameter below the centerline of the pipe to one pipe diameter (but not less than 12 inches) above the top of the pipe.

(4) Where a sewer crosses over a waterline all portions of the sewer within nine feet of the waterline shall be constructed of cast iron, ductile iron, or PVC pipe with a pressure rating of at least 150 psi using appropriate adapters. In lieu of this procedure the new conveyance may be encased in a joint of 150 psi pressure class pipe at least 18 feet long and two nominal sizes larger than the new conveyance. The space around the carrier pipe shall be supported at 5 feet intervals with spacers or be filled to the springline with washed sand. The encasement pipe should be centered on the crossing and both ends sealed with cement grout or manufactured seal.

(b) Water line/manhole separation. Unless sanitary sewer manholes and the connecting sewer can be made watertight and tested for no leaks, they must be installed so as to provide a minimum of nine feet of horizontal clearance from an existing or proposed waterline. Where the nine foot separation distance cannot be achieved, a carrier pipe as described in subsection (a)(4) of this section may be used where appropriate.

TCEQ STANDARD



REVISIONS

12-07-2007

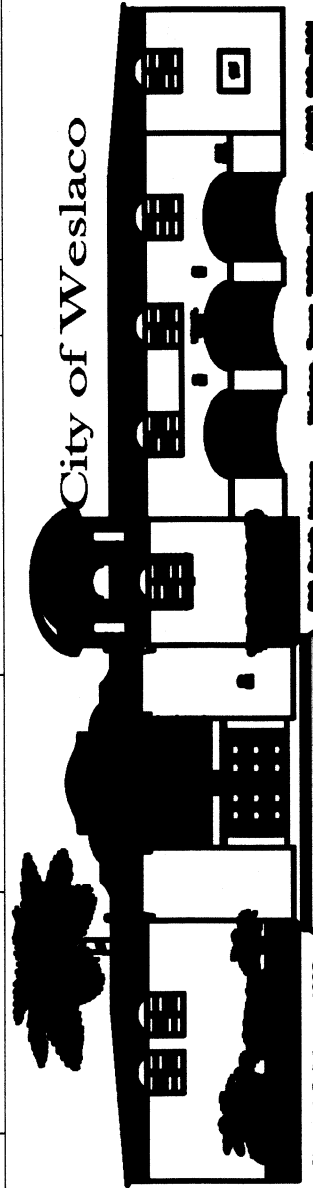
12-17-2007

01-04-2008

09-25-2008

CITY OF WESLACO

STANDARD DRAINAGE DETAILS



FILE NAME:
STD_DET_WESLACO

DATE:
01-04-2008

SURVEYED BY:

DESIGNED BY:

DRAWN BY:
JENNY F. ESTRADA

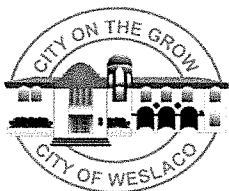
CHECKED BY:
BERNARD RODRIGUEZ

APPROVED BY:
RANDY WINSTON

HOR: 1" = N.T.S.

VERT: 1" = N.T.S.

DATE:
SHEET NO.:
1 OF 1



SUBDIVISION PLATTING APPLICATION

The Planning & Zoning Commission meets every 1st Wednesday of each month at 5:30 pm.

The City Commission meets every 1st and 3rd Tuesday of each month at 5:30 pm

FILE NO. Sub 17-00007

This form shall be completed by the Property Owner or Applicant and submitted to the Planning Department along with the required number of copies of the respective plat, review fee and all other required information listed below and in the Subdivision Ordinance. The submittal of an application does not constitute acceptance for processing until the staff reviews and determines the application is complete.

STAFF USE ONLY

☐ Single Lot Variance ☐ Minor Plat ☐ Planned Unit Development ☒ Standard Subdivision

GENERAL INFORMATION

Name of Subdivision: The Jungle

Location: North side of Mile 6 N. Road, approximately 601.92' West of Westgate Drive

Legal Description: 10.0' Acre tract out of Farm Tract 658 West & Adams Tract Subdivision

Is subdivision inside city limits? ☒ YES ☐ NO

If subdivision is in the ETJ, indicate? ☐ 3.5 Mile ☐ 5 Mile

If no submit letter of Annexation (Contiguous or Consensual)

Existing Zoning: _____

Existing Land Use: Residential Proposed Land Use: Residential

Number of Lots Proposed: 3 Gross Acreage: 10.0

Title Report Submitted: ☐ YES ☐ NO

OWNER INFORMATION

Owner's Name: Joe Fisher Telephone: (956) 454-0685

Address: 911 S. Airport Drive

Fax: _____

City: Weslaco State: TX Zip: 78596 E-mail: jcfjr.rx@gmail.com

ENGINEER INFORMATION

Name: Quintanilla, Headley & Associates, Inc Telephone: (956) 381-6480

Address: 124 E. Stubbs Fax: (956) 381-0527

City: Edinburg State: TX Zip: 78539 E-mail: alfonsoq@qhaengineering.com

UTILITY PROVISIONS

Will proposed subdivision connect to:

☒ YES ☐ NO Water Provision: City of Weslaco / Military Highway

☒ YES ☐ NO Wastewater Provision: City of Weslaco

☒ YES ☐ NO Electric Company: AEP

☒ YES ☐ NO Phone Utility <u>AT&T</u>	☒ YES ☐ NO Gas Utility	☒ YES ☐ NO Cable Utility
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Proposed subdivision is in the following districts:

☒ YES ☐ NO Drainage District <u>HCDD No. 1</u>	☒ YES ☐ NO Irrigation District <u>HCID No. 9</u>
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Has the property been assessed as flat rate irrigable property: ☒ YES ☐ NO

Have Water Rights been conveyed to City/Water Supplier? ☐ YES ☒ NO

(Attach written proof of such assessment or that it has never been assessed as such a property) If **YES**, attach an estimate from the irrigation district of the proportional water rights for the subdivision as calculated under Texas Water Code § 49.505.

SUBMITTALS REQUIRED FOR MINOR PLAT REVIEW

Two (2) sets of plats folded and stapled (24 x 36) and forward a copy in PDF format to mhinojosa@weslacotx.gov & rdelafuente@weslacotx.gov

\$350.00 Planning Review fee

One 11" X 17" reduced copy of plat

Plat Layout

Existing & Proposed Easements

Existing & Proposed ROW

Existing & Proposed Drainage Easements

Contours

Flood Zones

Adjoiners

Existing street names

Drainage plans and calculations with engineer's seal

Elevations

Flood directional arrows

Detention areas

Street names

Proof of ownership of the property

If septic tank system required, submit soil evaluation report

Water Rights associated with the property

Tax Receipt for all taxing entities showing that taxes are paid in full

SUBMITTALS REQUIRED FOR PRELIMINARY (P & Z)

Twelve (12) sets of preliminary plat folded and stapled (24 x 36) and forward a copy in PDF format to mhinojosa@weslacotx.gov & rdelafuente@weslacotx.gov

\$350.00 (one time fee for preliminary and final plat)

One 11" X 17" reduced copy of plat

Plat Layout

Existing & Proposed Easements

Existing & Proposed ROW

Existing & Proposed Drainage Easements

☐ Contours
☐ Flood Zones
☐ Adjoiners
☐ Existing & Proposed street names
☐ Utility Layout
☐ Existing & Proposed Utilities
☐ Proposed Fire Hydrants
☐ Adjoiners
☐ Street names
☐ Drainage plans and calculations with engineer's seal
☐ Elevations
☐ Flood directional arrows
☐ Detention areas
☐ Street names
☐ Proof of ownership of the property
☐ If septic tank system required, submit soil evaluation report
☐ Water Rights associated with the property
☐ Tax Receipt for all taxing entities showing that taxes are paid in full
☐ Number of fire hydrants proposed for subdivision
☐ Trip Generation Worksheet

SUBMITTALS REQUIRED FOR FINAL (P & Z) **Will not apply to Single Lot Variance**

☐ Twelve (12) sets of plans **FOLDED & STAPLED** (24 x 36) & PDF copy with all corrections
☐ Plats to be sealed by Professional Engineer
☐ Approved Drainage Report
☐ Traffic Impact Analysis (If required)

SUBMITTALS REQUIRED FOR FINAL (City Commission)

☐ One set of 8 1/2 x 11 of plat and utilities with all corrections done

SUBMITTALS REQUIRED FOR PRE-CONSTRUCTION MEETING

☐ Seven (7) full sets of construction plans 24 x 36 and one (1) 11 x 17 with plan & profile.
☐ Engineering cost estimates for 3% geotechnical testing fees and 2% inspection fees
☐ Notice of Intent
☐ SW3P

SUBMITTALS REQUIRED FOR RECORDING OR HIDALGO COUNTY PLANNING

☐ Electronic file of final plat and as-builds
☐ Reproducible plat to be recorded with all required signatures
☐ 3% geotechnical testing fees or negotiated Material Testing fee by City, whichever is higher
☐ 2% inspection fee
☐ Park Fees
☐ Checks or Receipts: HCCID #9; HCDD #1; County Clerk
☐ Tax certificates
☐ Memo from engineering inspector releasing subdivision
☐ Water Rights associated with the property dedicated and assigned to City of Weslaco or payment of fees sufficient to meet the needs necessitated and attributable to development
☐ 30 Year Water and 30 Year Sewer Service Agreements
☐ Park dedication/Fees in lieu of

SUBMITTALS REQUIRED FOR RECORDING BY SECURITY

☐ Sealed engineering cost estimates
☐ Letter of Credit/Performance Bond/Escrow

** Any revisions requested would require resubmission of plats and reduced copy reflecting changes.

AUTHORIZATION AND ACKNOWLEDGEMENTS

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable); and the following person listed below is my authorized agent to act on my behalf.

I certify that the above information is correct and complete to the best of my knowledge. I understand that I must comply with all applicable local, state, and federal regulations.

Owner Printed Name: Joe Fischer

Owner Signature: [Signature] Date: _____

_____ is the authorized agent

Authorized Agent Signature: _____ Date: _____

Authorized Agent Printed Name: _____

THIS PAGE FOR STAFF USE ONLY

Date Received: _____ Received By: _____ Date Paid: _____

P & Z Commission Approval on Preliminary Plat: _____

P & Z Commission Approval on Final Plat: _____

City Commission Approval on Final Plat: _____

Preconstruction Meeting Date: _____

Date Recorded: _____ Instrument No. _____

General Comments: _____



APPLICATION FOR VARIANCE

The Planning & Zoning Commission meets every 1st Wednesday of each month at 5:30 pm.

The City Commission meets every 1st and 3rd Tuesday of each month at 5:30 pm

FILE NO. VAR17-00042

GENERAL INFORMATION

Name of Subdivision: The Jungle Subdivision

Location: North Side of Mile 6 North Rd. approximately 601.92' West of Westgate Drive

Legal Description: 10.0 Acre tract out of Farm Tract 658 West & Adams Tract Subdivision

VARIANCE TYPE:

☐ Streetlights ☐ YES ☒ NO

Describe in detail the reason for the variance request:

☐ Sanitary Sewer ☐ YES ☒ NO

Describe in detail the reason for the variance request:

☐ Fire Hydrants ☒ YES ☐ NO

Describe in detail the reason for the variance request:

Need water line to fire hydrant looped

☐ Setbacks ☐ YES ☒ NO

Describe in detail the reason for the variance request:

☐ Drainage ☐ YES ☒ NO

Describe in detail the reason for the variance request:

☐ Minimum Lot Size ☐ YES ☒ NO

Describe in detail the reason for the variance request:

☐ Sidewalks ☐ YES ☐ NO

Describe in detail the reason for the variance request:

☐ Easement Requirements ☒ YES ☐ NO

Describe in detail the reason for the variance request:

An access easement to Lot 3 is being provided on the plat. The Fire Dept is requesting a 26' paved access road to be done as part of the subdivision process. The owner is requesting in lieu of paving at this time, a note be placed on the plat for the paving to be done when the building permit for Lot 3 is requested.

OWNER INFORMATION

Owner's Name: _____ Telephone: _____

Address: _____ Fax: _____

City: _____ State: _____ Zip: _____ E-mail: _____

AUTHORIZATION AND ACKNOWLEDGEMENTS

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable); and the following person listed below is my authorized agent to act on my behalf.

I certify that the above information is correct and complete to the best of my knowledge. I understand that I must comply with all applicable local, state, and federal regulations.

Owner Printed Name: Joe Fisher

Owner Signature: [Signature] Date: 4/1/17

_____ is the authorized agent

Authorized Agent Signature: _____ Date: _____

Authorized Agent Printed Name: _____

CITY OF WESLACO
956-968-3181

REC#: 02263255 6/01/2017 4:58 PM
OPER: KArev TERM: 036
REF#: 9490
PAID BY:

TRAN: 235.1000 PROCESSING FEE
2551
01 -400-3200
PROCESSING FEE-ONLI 5.00CR

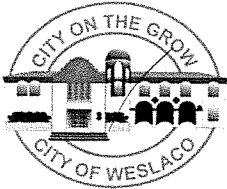
TRAN: 203.0000 SUBDIVISION INSPECT
2551
01 -400-1025
SUBDIVISION INSPECT 350.00CR

TRAN: 235.1000 PROCESSING FEE
2553
01 -400-3200
PROCESSING FEE-ONLI 5.00CR

TRAN: 203.0000 SUBDIVISION INSPECT
2553
01 -400-1025
SUBDIVISION INSPECT 100.00CR

TENDERED: 355.00 CHECK
105.00 CHECK
APPLIED: 460.00-

CHANGE: 11.00



SUBDIVISION REVIEW APPLICATION

RECEIVED

APR 20 2017

Planning &
Code Enforcement Dept.

The Planning & Zoning Commission meets every 1st Wednesday of each month at 5:30 pm.

The City Commission meets every 1st and 3rd Tuesday of each month at 5:30 pm

FILE NO. SRV 17-00014

This form shall be completed by the Property Owner or Applicant and submitted to the Planning Department along with the required number of copies of the respective plat, review fee and all other required information listed below and in the Subdivision Ordinance. The submittal of an application does not constitute acceptance for processing until the staff reviews and determines the application is complete.

GENERAL INFORMATION

Name of Subdivision: The Jungle

Location: North side of Mile 6 N. Rd, approximately 601.92' West of Westgate Drive

Legal Description: 10.0' Acre tract out of Farm Tract 658 West & Adams Tracts Subdivision

Is subdivision inside city limits? ☒ YES ☐ NO

If subdivision is in the ETJ, indicate? ☐ 3.5 Mile ☐ 5 Mile

If no submit letter of Annexation (Contiguous or Consensual)

Existing Zoning: _____

Existing Land Use: Residential Proposed Land Use: Residential

Number of Lots Proposed: 3 Gross Acreage: 10.0

Title Report Submitted: ☐ YES ☐ NO

OWNER INFORMATION

Owner's Name: Joe Fischer Telephone: (956) 454-0685

Address: 911 S. Airport Drive Fax: _____

City: Weslaco State: TX Zip: 78596 E-mail: jcfjr.rx@gmail.com

ENGINEER INFORMATION

Name: Quintanilla, Headley & Associates, Inc. Telephone: (956) 381-6480

Address: 124 E. Stubbs Fax: (956) 381-0527

City: Edinburg State: TX Zip: 78539 E-mail: alfonsoq@qhaengineering.com

255 S. KANSAS AVE ■ WESLACO, TEXAS 78596-6285 ■ 956-447-3401 ■ (Fax) 956-973-3128 ■ WWW.WESLACOTX.GOV

UTILITY PROVISIONS

Will proposed subdivision connect to:

☒ YES ☐ NO Water Provision: City of Weslaco / Military Highway

☒ YES ☐ NO Wastewater Provision: City of Weslaco

☒ YES ☐ NO Electric Company: AEP

☒ YES ☐ NO Phone Utility <u>AT&T</u>	☒ YES ☐ NO Gas Utility	☒ YES ☐ NO Cable Utility
---	---	---

Proposed subdivision is in the following districts:

☒ YES ☐ NO Drainage District <u>HCDD No. 1</u>	☒ YES ☐ NO Irrigation District <u>HCDD No. 9</u>
---	---

Has the property been assessed as flat rate irrigable property: ☒ YES ☐ NO

Have Water Rights been conveyed to City/Water Supplier? ☐ YES ☒ NO

(Attach written proof of such assessment or that it has never been assessed as such a property) If **YES**, attach an estimate from the irrigation district of the proportional water rights for the subdivision as calculated under Texas Water Code § 49.505.

SUBMITTALS REQUIRED FOR SUBDIVISION REVIEW

_____ Seven (7) sets of preliminary plat **folded and stapled** (24 x 36) and forward a copy in PDF format to mhinojosa@weslacotx.gov & rdelafuente@weslacotx.gov

_____ \$50.00 Subdivision Review fee

_____ One 11" X 17" reduced copy of plat

_____ Plat Layout

_____ Existing & Proposed Easements

_____ Existing & Proposed ROW

_____ Existing & Proposed Drainage Easements

_____ Contours

_____ Flood Zones

_____ Adjoiners

_____ Existing & Proposed street names

_____ Utility Layout

_____ Existing & Proposed Utilities

_____ Proposed Fire Hydrants

_____ Adjoiners

_____ Street names

_____ Drainage plans and calculations with engineer's seal

_____ Elevations

_____ Flood directional arrows

_____ Detention areas

_____ Street names

_____ Proof of ownership of the property

_____ If septic tank system required, submit soil evaluation report

_____ Water Rights associated with the property

_____ Tax Receipt for all taxing entities showing that taxes are paid in full

_____ Number of fire hydrants proposed for subdivision

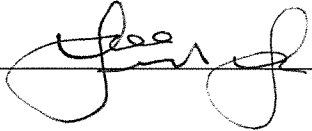
_____ Trip Generation Worksheet

AUTHORIZATION AND ACKNOWLEDGEMENTS

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable); and the following person listed below is my authorized agent to act on my behalf.

I certify that the above information is correct and complete to the best of my knowledge. I understand that I must comply with all applicable local, state, and federal regulations.

Owner Printed Name: Joe Fischer

Owner Signature:  Date: 4-20-17

_____ is the authorized agent

Authorized Agent Signature: _____ Date: _____

Authorized Agent Printed Name: _____

THIS PAGE FOR STAFF USE ONLY

Date Received: _____ Received By: _____ Date Paid: _____

Preliminary Subdivision Review Date: _____

General Comments: _____

CITY OF WESLACO
6-968-3181

AC#: 02248644 4/20/2017 3:43 PM
SER: KAREV TERM: 036
C#: 9491

N: 000 1000 PROCESSING FEE
1884

-400-3200
PROCESSING FEE-ONLI 5.00CR

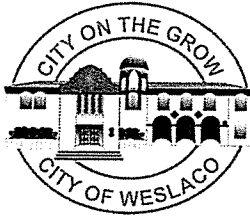
: 203.0000 SUBDIVISION INSPECT
1884

-400-1025
UBDIVISION INSPECT 50.00CR

RENDERED: 55.00 CHECK
APPLIED: 55.00-

City of Weslaco

"The City on the Grow"



David Suarez, Mayor
Gerardo "Jerry" Tafolla, Mayor Pro-Tem, District 4
Leo Muñoz, Commissioner, District 1
Greg Kerr, Commissioner, District 2
Olga M. Noriega, Commissioner, District 3
Letty Lopez, Commissioner, District 5
Josh Pedraza, Commissioner, District 6

Mike R. Perez, City Manager

May 09, 2017

Quintanilla, Headley and Associates, Inc.
Engineering Registration Number F-1513
124 E. Stubbs St.
Edinburg, Tx 78539

Re: The Jungle- Construction Plan Reviews

Mr. Alfonso Quintanilla,

Please find below comments to the above mentioned subdivision:

Plat

1. Easement needs to wrap around the property. ✓
2. Access Easement to be called out as Utility and Access Easement. ✓
3. The Plat does not show a document number for the existing easement of the water line ✓ coming from the Keys at Westgate Subdivision.
4. Need to dedicated additional 30' for Drainage Ditch.

Utility Layout

1. Water line connecting FH needs to be looped.
2. Need to have a SSMH at the end of the 6" Sanitary Sewer line.
3. Existing water well cannot be within 150' of a Sanitary Sewer line.

Need a paving plan and paving details.

Drainage detention is low.

Sincerely,

Mardoqueo Hinojosa, P.E.

Mardoqueo Hinojosa, P.E., CFM
Planning Director/City Engineer

WESLACO FIRE MARSHAL'S OFFICE

255 S. Kansas

Weslaco, Texas 78596

(956) 447-3415 Fax (956) 969-4921

DATE: 05/02/17

OCCUPANCY CLASS: Subdivision

FACILITY NAME: The Jungle

PHYSICAL & MAILING ADDRESS: 2100 Block West 18th

PLAN REVIEW – CHECK OFF LIST

PHONE #: 454-0685

OWNER/MANAGER: Joe Fischer

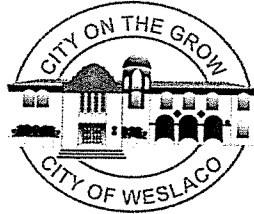
X		Approved as submitted	X	with notes
	A	Illuminated exit signs and emergency lighting shall be combination with 90 minute battery pack back-up.		
	B	All restrooms shall have emergency lighting with 90 minute battery pack back-up.		
	C	Shall provide minimum 5 lb. ABC dry chemical extinguisher at 50' intervals for non-sprinklered building, 75' intervals for sprinklered building, annually inspected & tagged by a licensed agency and mounted no higher than 48" from top to ground. NFPA 10, Latest Edition & IFC 2012 Edition, Section 906.		
	D	Shall have fire alarm company submit plans for proposed fire alarm.		
	E	Shall have fire alarm system installed in accordance with the latest editions of NFPA 70 & 72, by a licensed agency and monitored 24/7 by an outside agency. Shall call our office 24 hours in advance for trip test. NFPA 101, Life Safety Code, 2012 Edition		
	F	Shall have fire alarm system tied into the sprinkler system to monitor flow and tamper switches. Shall also be tied into the suppression system for the kitchen hood. NFPA 101, Life Safety Code, 2012 Edition.		
	G	Shall have automatic sprinkler system installed by a licensed agency and in accordance with the latest edition of NFPA 13. Sprinkler company shall submit plans to our office and ISO for review. Shall contact our office 24 hours in advance for underground & aboveground hydrostatic tests. IFC, 2012 Edition, Section 903 & 912 and latest edition of NFPA 13. No ceiling shall be in place until aboveground hydrostatic test has been approved.		
	H	If cooking that releases grease latent vapors, shall provide hood suppression system installed by a licensed agency; hood shall vent to exterior of building. NFPA 96, Latest edition. An approved method shall be provided that will ensure that the appliance(s) is returned to an approved design location, NFPA 96, Section 12.1.2.3.1 Shall call our office 24 hours in advance for trip test. IFC, 2012 Edition, Section 904.		
	I	Shall have 1 – K extinguisher for kitchen annually inspected by a licensed agency. IFC, 2012 Edition, Section 904.11.5		
X	J	Shall have fire hydrant within 400'. Shall have 4 ½" outlet facing the street with 18" to 24" clearance from bottom of outlet to grade level for hydrant wrench. Hydrants shall be marked on the streets with reflective blue marker to show location of hydrants. Hydrants shall have 3' clearance from any fences, poles, brush, etc. Fire hydrant water supply line shall be looped. Size shall be determined by Engineering and Public Works Dept.		
	K	Fire department connection shall be free-standing, away from the building, minimum 1 ½ times the building height, out of the collapse zone, and within 100' of a fire hydrant. FDC shall be protected from impact with 4" diameter concrete filled bollards, cemented 4' into the ground with 3' above ground. Shall be spaced 3' apart. Shall have a reflective sign indicating "FDC" with 6" high letters, ½" wide. IFC, 2012 Edition, Section 903.3.7 and all of section 912, IFC, 2012 Edition, and latest edition of NFPA 13. The FDC connection shall be the 5 inch storz with a 30 to 40 degree downward deflection angle adapter. Tamper protection for backflow preventer shall be of an approved type and approved by Authority Having Jurisdiction.		
X	L	Access roads shall be 26' minimum with hydrant unobstructed, 20' without hydrant unobstructed. All weather surface road that supports the imposed loads of fire apparatus shall be in place (concrete or asphalt). Not shown on plans.		
X	M	Fire apparatus access road shall comply with IFC 2012 Edition, Appendix D. (Cul-de-sac, wye, hammerhead) Not shown on plans.		
	N	Shall have evacuation routes, with primary & secondary exits marked, in place. IFC, 2012 Edition, Section 404.		
	O	Shall maintain a clear path for means of egress in the following areas:		
	P	Shall have all exit doors open in the direction of egress travel. If equipped with a locking device, it shall be of an approved type.		
	Q	Every room or space that is an Assembly occupancy shall have the occupant load posted in a conspicuous place.		
	R	Shall maintain 44" clearance between aisles.		
X	S	Gated community shall submit specs on gate and shall maintain a 20' clearance on each side of island prior to installation of gate. Shall provide combination for access to subdivision. Shall provide Knox Box Gate Entry System.		
	T	Shall post address in front of building plainly visible from the street with 6" x ½" stroke letters or numbers.		
	U	Shall have Knox Box, 3200 Series, with hinged door, installed for fire department access. www.KnoxBox.com		
	V	Shall have Knox FDC 5 inch Storz Caps in place. www.KnoxBox.com		
	W	Shall have an exterior door to Riser Room. Shall label Riser Room with a white reflective sign to read "Riser Room" with 6" x ¾" stroke red letters.		
X	X	Shall provide fire lane painted with 6" red striping, with white lettering 4" x ¾" stroke to read "No Parking Fire Lane" spaced every 10 to 12 feet.		
	Y	Shall submit a complete set of plans for construction to my office for further requirements.		
X	Z	Shall pay appropriate fees for the following:	X	Plan review (\$75.00)
		Sprinkler system plan review		Aboveground hydro test
				Underground hydro test
				Suppression system trip test
X	X	Shall have fire lane marked in front of the fire hydrant. From center of fire hydrant, fire lane shall extend 15 feet each way. 30 feet total length.		
X	X	Additional fire hydrants could possibly be required depending on the location of the structures on the lots.		

Asst. Fire Marshal Mike Swinnea

FIRE MARSHAL/FIRE INSPECTOR

City of Weslaco

"The City on the Grow"



David Suarez, Mayor
Gerardo "Jerry" Tafolla, Mayor Pro-Tem, District 4
Leo Muñoz, Commissioner, District 1
Greg Kerr, Commissioner, District 2
Olga M. Noriega, Commissioner, District 3
Letty Lopez, Commissioner, District 5
Josh Pedraza, Commissioner, District 6

Mike R. Perez, City Manager

May 8, 2017

Joe Fischer
911 South Airport Drive
Weslaco, Texas 78596

Re: The Jungle- Subdivision Review

Dear Applicant:

As per the plan set received, please find below general comments that need to be addressed for the above mentioned subdivision:

1. Streetlight must be located every 300 feet
2. Preliminary drainage report must be submitted.
3. Minimum Building Setback lines shall be as follows:
Front: 25 ft.
Rear: 25ft
Side: 5ft. Applicant must apply for a variance
4. A 4ft. sidewalk is required along exterior perimeter upon the issuance of a building permit.

Should you need additional information or have any questions, please call the Planning Department at (956) 447-3401.

Sincerely,

Rebekah de la Fuente
Senior Planner

CC: Quintanilla, Headley & Associates, Inc.
124 East Stubbs
Edinburg, Texas 78539

CITY OF WESLACO

PLANNING & CODE ENFORCEMENT DEPARTMENT

SUBDIVISION REVIEW MEETING



DATE: May 9, 2017

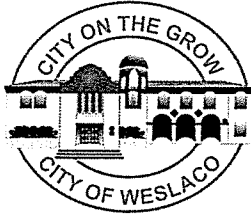
NAME OF SUBDIVISION: The Jungle

SIGN IN SHEET

#	NAME	COMPANY	Phone/email
1	Mardoqueo Hinojosa	City of Weslaco	447-3403
2	Rebekah delaFuente	City of Weslaco	447-3401
3	Efraim Tafara	City of Weslaco	956-447-3401
4	Mike Swinner	Wfmo	447-3915
5	Rolando Garza	City of Weslaco	956-447-3401
6	Jaime Gomez	QHA	956-381-6480
7			
8			
9			
10			
11			
12			
13			
14			

City of Weslaco

"The City on the Grow"



David Suarez, Mayor
Gerardo "Jerry" Tafolla, Mayor Pro-Tem, District 4
Leo Muñoz, Commissioner, District 1
Greg Kerr, Commissioner, District 2
Olga M. Noriega, Commissioner, District 3
Letty Lopez, Commissioner, District 5
Josh Pedraza, Commissioner, District 6

Mike R. Perez, City Manager

INTERNAL MEMO

DATE: May 5, 2017

TO: Rebekah de la Fuente, Senior Planner
Efrain Tafolla/Construction Insp./CADD Supervisor
Gilbert Garcia, Construction Inspector
Pete Garcia, Public Works Director/ Olga Garza
Chris Sanchez, Fire Marshal/Mike Swinnea
Rolando Gonzalez, Building Official
Chief Stephen S. Mayer, Police Department

FROM: Mardoqueo Hinojosa, P.E., Planning Director/ City Engineer *MH*

SUBJECT: Subdivision Review Meeting- The Jungle

A subdivision review meeting will be held on Tuesday, May 9, 2017 in the Planning Department Conference Room B. It is imperative that you attend. Listed below is the subdivision that will be discussed:

➤ **The Jungle Subdivision – 9:00 a.m.**

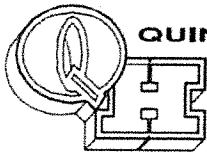
Please make every effort to attend or send a representative, if you or a representative is unable to attend, submit your comments in writing. **Be advised that all comments must be received before the scheduled meeting in order to avoid delays of construction.**

Should you have any questions, please call 447-3401.

Quintanilla, Headley & Associates, Inc.

Hidalgo County Drainage District No. 1 Drainage Report THE JUNGLE Hidalgo County, Texas

Prepared By:



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

Consulting Engineers ★ Land Surveyors

Alfonso Quintanilla, P.E. # 95534 - R.P.L.S. # 4856

Eulalio Ramirez, P.E. # 77062

Engineering Firm Registration No. F-1513

Surveying Firm Registration No. 100411-00

124 E. Stubbs St. Edinburg, Texas 78539

Phone: (956) 381-6480 Fax: (956) 381-0527

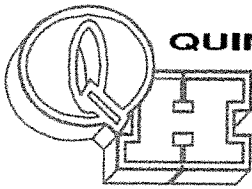
Email: office@qhaengineering.com

June 2, 2017



Alfonso Quintanilla P.E.
6-2-17

Cover Sheet	1
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Drainage Report	3
Hydraulic Calculations	4
“C” Values for Rational Method	5
Rainfall Intensity for Hidalgo County	6
Location Map	7
Flood Plain Attachments	8–10
Soil Condition Attachment	11-13
Quad Map	14



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

Consulting Engineers ★ Land Surveyors

Alfonso Quintanilla, P.E. # 95534 R.P.L.S #4856 Eulalio Ramirez, P.E. # 77062

Engineering Firm Registration No. F-1513

Surveying Firm Registration No. 100411-00

Municipal & County Projects ★ Subdivisions ★ Surveys

**DRAINAGE REPORT
FOR
THE JUNGLE**

The Jungle Subdivision is a 10.00 acre tract of land out of Farm Tracts 658, West and Adams Tracts Subdivision, Hidalgo County, Texas, according to the map or plat thereof recorded in Volume 2, Pages 34-37, map records, Hidalgo County, Texas, and according to Warranty Deed under County Clerk's Document Number 1057967, official records, Hidalgo County, Texas, reference to which is here made for purposes. The property is located within the city limits of Weslaco, on the North side of W. 18th Street (Mile 6 North Road) approximately 601.92 feet west of Westgate Drive (Mile 6 West Road). The proposed subdivision will consist of 3 residential.

The tract is Zone "B", as per FEMA Flood Insurance Rate Map, Community Panel No. 480334 0525 B, dated on January 2, 1981.

This soil is sandy clay loam and clay loam. This soil is well drained. Permeability is moderate. Plasticity Index has a range of 11-23. See attached Soil Survey of Hidalgo County, Texas tables.

Presently, the site runoff flows overland in a southeasterly direction. The existing runoff for the proposed subdivision is $Q=3.35$ cubic feet per second based on a 10-year storm.

After development the runoff will be $Q=7.99$ cubic feet per second (25 year storm) for an increase of $Q=4.64$ cubic feet per second. Detention will be 21,570.36 cubic feet (0.50 acre feet) (based on the City of Weslaco requirements) and will be on site on the lots green areas. An engineered detention plan to be submitted for approval at time of application for a building permit.

Drainage calculations are attached.

Alfonso Quintanilla, P.E.

June 1, 2017



THE JUNGLE

EXISTING:

Area = 10.00 acres
 V = 0.15
 D = 1360.00 Ft
 c = 0.20

$t = D / V(3600)$
 $t = 2.52 \text{ Hrs} = 151.11 \text{ min}$

From Rainfall Intensity Curve: $i = 1.68$

$Q = ciA$
 $Q = 3.35 \text{ cfs}$

FUTURE:

Area = 10.00 Acres
 V = 0.30
 D = 1360.00 Ft
 c = 0.25

$t = D / V(3600)$
 $t = 1.26 \text{ Hrs} = 75.56 \text{ min}$

From Rainfall Intensity Curve: $i = 3.20$

$Q = ciA$
 $Q = 7.99 \text{ cfs}$



Alfonso Quintanilla P.E.
 6-1-17

t (hr)	i (in/hr)	Qfut (cfs)	Vfut (cf)	Qext (cfs)	Vext (cf)	Vfut - Vext (cf)
0.25	8.40	21.00	18901.09	3.35	3015.30	15885.80
0.50	5.79	14.48	26062.44	3.35	6030.59	20031.84
0.75	4.51	11.28	30452.04	3.35	9045.89	21406.15
1.00	3.74	9.34	33631.54	3.35	12061.19	21570.36
1.25	3.21	8.03	36137.91	3.35	15076.48	21061.42
1.50	2.83	7.08	38216.36	3.35	18091.78	20124.58
2.00	2.31	5.77	41563.79	3.35	24122.37	17441.42
3.00	1.72	4.30	46460.48	3.35	36183.56	10276.91
4.00	1.39	3.48	50094.50	3.35	48244.75	1849.75
5.00	1.18	2.95	53022.96	3.35	60305.93	-7282.98

PEAK VOLUME = 21570.36 cf
 Peak Volume = 0.50 Ac-ft

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

" C " - VALUES FOR RATIONAL METHOD

Type of Drainage Area	Runoff Coefficient
Residential Districts:	
Single Family (Lots less than 1/4 acre)	0.35
Single Family (Lots 1/4 to 1/2 acre)	0.30
Single Family (Lots greater than 1/2 acre)	0.25
Multi - Family (Less than 20 DU / AC)	0.45
Multi - Family (Greater than 20 DU / AC)	0.55
Business District:	0.70
Industrial Districts:	
Light Areas	0.50
Heavy Areas	0.60
Railroad Yard Areas:	0.20
Parks:	0.10
Unimproved Areas:	
Bare Surface	0.30
Grassland	0.25
Cultivated	0.20
Woodlands	0.15
Streets:	
Asphalt	0.70
Concrete	0.75
Drives & Walks:	
Concrete	0.75

JUNGLE SUBDIVISION

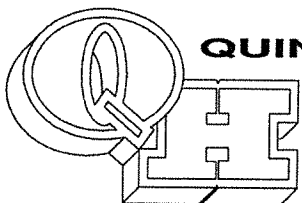
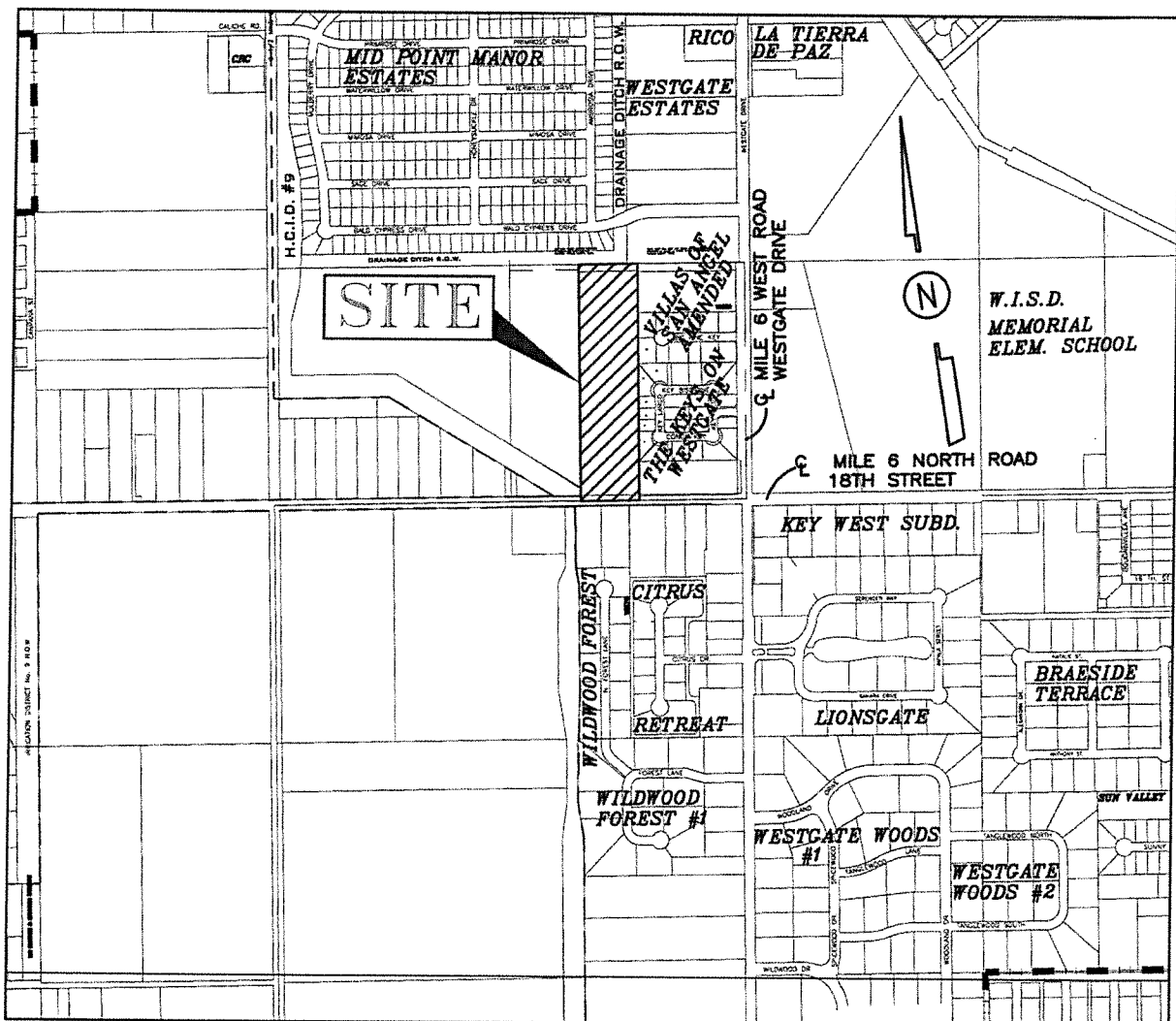
RAINFALL INTENSITY FOR HIDALGO COUNTY

TIME	10 YEAR	25 YEAR	TIME	10 YEAR	25 YEAR	TIME	10 YEAR	25 YEAR
(Min)	(In / Hr)	(In / Hr)	(Min)	(In / Hr)	(In / Hr)	(Min)	(In / Hr)	(In / Hr)
1	14.283	16.352	31	4.913	5.680	61	3.184	3.695
2	13.28	15.215	32	4.820	5.573	62	3.149	3.655
3	12.425	14.244	33	4.731	5.471	63	3.115	3.616
4	11.687	13.404	34	4.646	5.373	64	3.082	3.578
5	11.041	12.671	35	4.584	5.279	65	3.050	3.541
6	10.472	12.023	36	4.485	5.189	66	3.018	3.504
7	9.965	11.446	37	4.409	5.102	67	2.987	3.469
8	9.512	10.930	38	4.337	5.018	68	2.957	3.434
9	9.102	10.464	39	4.266	4.938	69	2.928	3.400
10	8.731	10.041	40	4.199	4.860	70	2.890	3.367
11	8.393	9.658	41	4.134	4.786	71	2.871	3.335
12	8.084	9.302	42	4.071	4.713	72	2.843	3.303
13	7.799	8.978	43	4.010	4.644	73	2.818	3.272
14	7.536	8.676	44	3.951	4.576	74	2.700	3.241
15	7.293	8.400	45	3.894	4.511	75	2.784	3.212
16	7.068	8.142	46	3.839	4.448	76	2.730	3.183
17	6.856	7.901	47	3.786	4.387	77	2.714	3.154
18	6.659	7.676	48	3.734	4.327	78	2.890	3.126
19	6.474	7.465	49	7.684	4.270	79	2.666	3.099
20	8.301	7.268	50	3.636	4.214	80	2.643	3.072
21	8.138	7.081	51	3.589	4.160	81	2.620	3.046
22	5.985	6.906	52	3.543	4.106	82	2.598	3.020
23	5.839	6.740	53	3.499	4.057	83	2.576	2.995
24	5.702	6.583	54	3.455	4.007	84	2.554	2.970
25	5.572	6.434	55	3.413	3.959	85	2.533	2.946
26	5.448	6.292	56	3.373	3.912	86	2.512	2.922
27	5.331	6.158	57	3.333	3.866	87	2.492	2.808
28	5.219	6.030	58	3.294	3.822	88	2.472	2.875
29	5.112	5.908	59	3.257	3.779	89	2.452	2.853
30	5.011	5.791	60	3.220	3.736	90	2.433	2.830

THE JUNGLE

LOCATION MAP

SCALE 1" = 1000'



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
REGISTRATION NUMBER F-1513

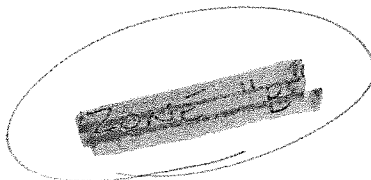
LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

**HIDALGO COUNTY,
TEXAS
(UNINCORPORATED AREAS)**

PANEL 525 OF 525



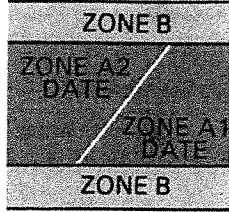
COMMUNITY-PANEL NUMBER
480334 0525 B

EFFECTIVE DATE:
JANUARY 2, 1981



**federal emergency management agency
federal insurance administration**

KEY TO MAP

500-Year Flood Boundary	—————
100-Year Flood Boundary	—————
Zone Designations* With Date of Identification e.g., 12/2/74	
100-Year Flood Boundary	—————
500-Year Flood Boundary	—————
Base Flood Elevation Line With Elevation In Feet**	~~~~~513~~~~~
Base Flood Elevation in Feet Where Uniform Within Zone**	(EL 987)
Elevation Reference Mark	RM7x
River Mile	• M1.5

**Referenced to the National Geodetic Vertical Datum of 1929

*EXPLANATION OF ZONE DESIGNATIONS

ZONE	EXPLANATION
A	Areas of 100-year flood; base flood elevations and flood hazard factors not determined.
A0	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; average depths of inundation are shown, but no flood hazard factors are determined.
AH	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevations are shown, but no flood hazard factors are determined.
A1-A30	Areas of 100-year flood; base flood elevations and flood hazard factors determined.
A99	Areas of 100-year flood to be protected by flood protection system under construction; base flood elevations and flood hazard factors not determined.
B	Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood. (Medium shading)
C	Areas of minimal flooding. (No shading)
D	Areas of undetermined, but possible, flood hazards.
V	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors not determined.
V1-V30	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors determined.

NOTES TO USER

Certain areas not in the special flood hazard areas (zones A and V) may be protected by flood control structures.

This map is for flood insurance purposes only; it does not necessarily show all areas subject to flooding in the community or all planimetric features outside special flood hazard areas.

For adjoining map panels, see separately printed Index To Map Panels.

INITIAL IDENTIFICATION:
MAY 23, 1978

FEMA MAP

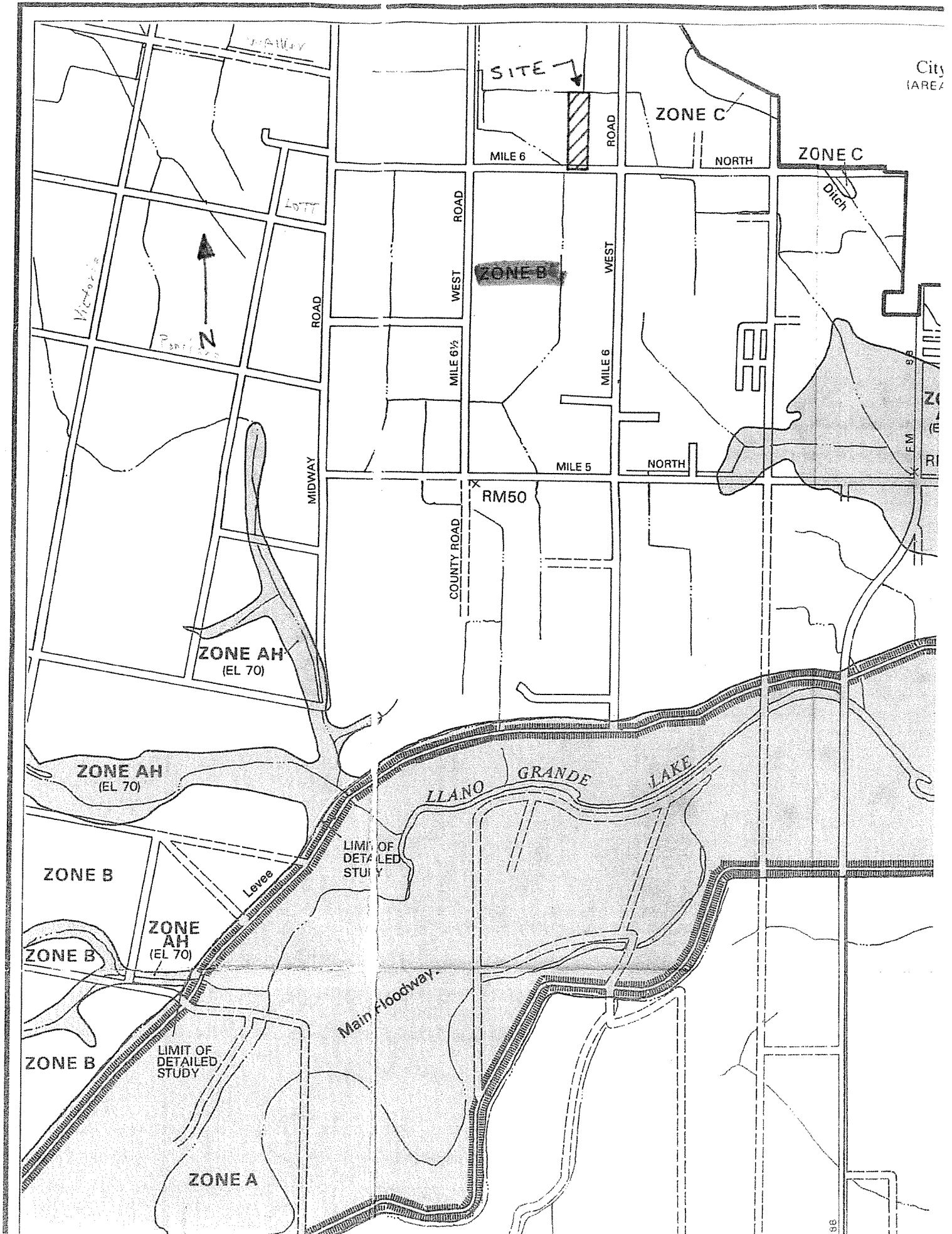


TABLE 16.--ENGINEERING INDEX PROPERTIES--Continued

Map symbol and soil name	Depth In	USDA texture	Classification		Percentage passing sieve number--				Liquid limit Pct	Plas- ticity index
			Unified	AASHTO	4	10	40	200		
13:*										
Randado-----	0-9	Fine sandy loam	SM, SM-SC	A-2-4	75-100	70-100	70-100	20-35	<25	NP-7
	9-16	Fine sandy loam, sandy clay loam.	SC, SM-SC, GC	A-2-4, A-2-6, A-4, A-6	65-100	60-100	60-100	25-50	25-34	7-14
	16-60	Cemented-----	---	---	---	---	---	---	---	---
14-----										
Falfurrias	0-80	Fine sand-----	SP-SM, SM	A-2-4, A-3	100	100	75-100	5-25	<25	NP-3
15-----										
Grulla	0-7	Clay-----	CL, CH	A-7-6	100	100	100	90-100	41-55	20-30
	7-65	Silty clay, clay	CH	A-7-6	100	100	100	90-100	52-66	28-39
16, 17, 18-----										
Hargill	0-18	Fine sandy loam	SC, SM-SC, SM	A-2-4	100	95-100	95-100	17-35	<30	NP-8
	18-63	Sandy clay loam	SC, CL	A-6	100	95-100	95-100	40-55	30-40	11-20
	63-80	Sandy clay loam	SC	A-2-4, A-2-6, A-4, A-6	85-100	80-100	75-100	34-50	28-39	9-18
19, 20-----										
Harlingen	0-8	Clay-----	CH	A-7-6	100	100	100	90-100	51-85	32-60
	8-35	Clay-----	CH	A-7-6	100	100	100	95-100	65-85	50-65
	35-72	Clay-----	CH	A-7-6	100	100	100	95-100	65-85	50-65
21:*										
Harlingen-----	0-8	Clay-----	CH	A-7-6	100	100	100	90-100	51-85	32-60
	8-35	Clay-----	CH	A-7-6	100	100	100	95-100	65-85	50-65
	35-72	Clay-----	CH	A-7-6	100	100	100	95-100	65-85	50-65
Urban land.										
22, 23, 24-----										
Hebbronville	0-17	Sandy loam-----	SM	A-2-4	100	100	75-100	13-24	<25	NP-4
	17-58	Fine sandy loam, loam.	SM, SM-SC	A-2-4	100	100	90-100	20-30	<30	NP-7
	58-65	Fine sandy loam, loam.	SM-SC, SC	A-2-4, A-4, A-2-6, A-6	95-100	90-100	90-100	20-40	20-30	4-13
25, 26, 27-----										
Hidalgo	0-17	Fine sandy loam	SC, SM-SC	A-4, A-6	100	95-100	90-100	36-50	20-30	4-11
	17-28	Sandy clay loam, clay loam.	SC, CL	A-6	100	95-100	90-100	36-80	30-40	11-20
	28-80	Clay loam, sandy clay loam.	CL, SC	A-6, A-7-6	90-100	80-100	75-99	44-80	30-44	11-23
28, 29, 30-----										
Hidalgo	0-17	Sandy clay loam	SC, CL	A-6	100	95-100	90-100	36-50	29-40	11-20
	17-28	Sandy clay loam, clay loam.	SC, CL	A-6	100	95-100	90-100	36-80	30-40	11-20
	28-80	Clay loam, sandy clay loam.	CL, SC	A-6, A-7-6	90-100	80-100	75-99	44-80	30-44	11-23
31:*										
Hidalgo-----	0-17	Sandy clay loam	SC, CL	A-6	100	95-100	90-100	36-50	29-40	11-20
	17-28	Sandy clay loam, clay loam.	SC, CL	A-6	100	95-100	90-100	36-80	30-40	11-20
	28-80	Clay loam, sandy clay loam.	CL, SC	A-6, A-7-6	90-100	80-100	75-99	44-80	30-44	11-23
Urban land.										

See footnote at end of table.

TABLE 18.--SOIL AND WATER FEATURES

["Flooding" and "water table" and terms such as "rare," "brief," "apparent," and "perched" are explained in the text. The symbol > means more than. Absence of an entry indicates that the feature is not a concern]

Map symbol and soil name	Hydro-logic group	Flooding			High water table			Cemented pan		Risk of corrosion	
		Frequency	Duration	Months	Depth	Kind	Months	Depth	Hard-ness	Uncoated steel	Concrete
					<u>Ft</u>			<u>In</u>			
1.* Arents											
2----- Benito	D	Occasional	Long-----	Sep-May	4.0-6.0	Apparent	Sep-May	---	---	High-----	Low.
3, 4----- Brennan	B	None-----	---	---	>6.0	---	---	---	---	Moderate	Low.
5, 6----- Camargo	B	Rare-----	Brief-----	Sep-May	>6.0	---	---	---	---	Moderate	Low.
7----- Cameron	D	None-----	---	---	5.0-6.0	Apparent	Sep-May	---	---	High-----	Low.
8----- Comitas	A	None-----	---	---	>6.0	---	---	---	---	Low-----	Low.
9, 10, 11----- Delfina	E	None-----	---	---	2.5-5.0	Apparent	Sep-May	---	---	High-----	Low.
12----- Delmita	C	None-----	---	---	>6.0	---	---	20-40	Thin	Moderate	Low.
13.* Delmita-----	C	None-----	---	---	>6.0	---	---	20-40	Thin	Moderate	Low.
Randado-----	C	None-----	---	---	>6.0	---	---	8-20	Thin	Moderate	Low.
14----- Falfurrias	A	None-----	---	---	>6.0	---	---	---	---	Low-----	Low.
15**----- Grulla	D	Frequent-----	Very long	Sep-May	+2-6.0	Apparent	Sep-May	---	---	High-----	Low.
16, 17, 18----- Hargill	B	None-----	---	---	>6.0	---	---	---	---	High-----	Low.
19----- Harlingen	D	None-----	---	---	>6.0	---	---	---	---	High-----	Low.
20----- Harlingen	D	None-----	---	---	5.0-6.0	---	---	---	---	High-----	Moderate.
21.* Harlingen----- Urban land.	D	None to rare	---	---	>6.0	---	---	---	---	High-----	Low.
22, 23, 24----- Hebbronville	B	None-----	---	---	>6.0	---	---	---	---	Low-----	Low.
25, 26, 27, 28, 29----- Hidalgo	B	None-----	---	---	>6.0	---	---	---	---	High-----	Low.
30----- Hidalgo	B	None-----	---	---	2.5-5.0	Apparent	Sep-May	---	---	High-----	Low.
31.* Hidalgo----- Urban land.	B	None-----	---	---	>6.0	---	---	---	---	High-----	Low.
32.* Jimenez-----	C	None-----	---	---	>6.0	---	---	7-20	Thin	High-----	Low.

See footnotes at end of table.

QUAD MAP



MISSOURI
3 LANE

PACIFIC

WESLACO

SITE 7



MIDWAY

ELEVATED

Gas Well

Drill Hole

Drill Hole

Drive-in Theater

Trailer Park

ELEVATED

ELEVATED

MERCED 5 MI
HARLINGEN 20 MI

2896

2895

2894

2893

2892

2891

289000m. N.

597

598000m. E

596

30'



Standardized Agenda Request Form

Date of Meeting: July 25, 2017		Agenda Item No. (to be assigned by CSO): 2017-1076	
From: Mardoqueo Hinojosa			
Subject: Discussion and consideration to amend the Final Plat for The Villages at Westgate Subdivision, being 31.997 acre tract of land out of Farm Tract 145, Block 179, West Tract Subdivision located at the West intersection of Mile 6 West and approximately 1445 feet North of U.S. Expressway 83 North and authorize the Mayor to execute any related documents. Possible action. (Staffed by Planning and Code Enforcement.)			
Background: The proposed eighty-six (86) lot subdivision is within the City of Weslaco city limits. This subdivision is being serviced with water by City of Weslaco through a 12" waterline and sewer through a 12" sanitary sewer line. A Subdivision Plat was approved by City Commission on January 17, 2017. An amendment was done at City Commission on March 21, 2017. Owner is requesting a variance to reduce rear setback to 10' and the front setback to 20'. Lot dimensions have been reconfigured.			
Funding Source (budget code, if applicable):			
Amount:	Term of Impact:	Identified in Current Budget:	
Additional Action Prompted: Mayor's Signature			
If item previously considered, provide date and action by Commission:			
If item requires Publication Notice, provide date and periodical of publication; indicate if comments received from letters mailed to property owners:			
Advisory Review, if any (name of board/committee, date of action, recommendation): Planning and Zoning recommended approval of the Final Plat on July 5, 2017 with approval of the 20' front setback for lots 27-74			
Rebekah De La Fuente Mardoqueo Hinojosa Mike Perez		Created/Initiated Approved Final Approval	
City Manager Comments:			
Staff Recommendation: Staff recommends approval of the reconfiguration to the the Final plat, with denial of variance.			
Attachments, if any: Variance Request, Proposed Layout			

Responsibilities upon Approval:

Staff will advise applicant.



TBPE Firm # F-1435
TBPLS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

FRED L. KURTH • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • MARIO REYNA

June 20, 2017

Mr. Mardoqueo Hinojosa, P.E.
City of Weslaco
255 S. Kansas Ave.
Weslaco, TX 78596-6158

RE: The Villages at Westgate – Setback Variance Request

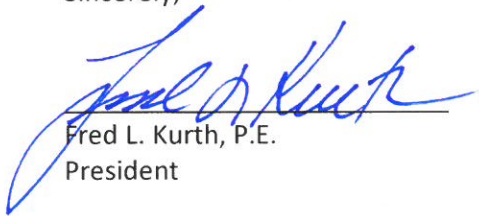
Dear Mr. Hinojosa:

On behalf of the owner, Domain Development Corporation, we respectfully request a variance request from your zoning ordinance to allow the following setbacks as shown on the attached plat:

Front: 20 feet
Rear: 10' or Easement width whichever is greater
Side: 5.00' or Easement width whoever is greater
Corner: 10 feet

This is a proposed multi-family development that will consist of fourplexes and due their size constraints, these setbacks would accommodate them adequately. Your consideration to this request is greatly appreciated.

Sincerely,



Fred L. Kurth, P.E.
President

Attachment: (1) Copy of Subdivision Plat

Cc: Domain Development Corporation, Developer

GENERAL PLAT NOTES & RESTRICTIONS:

1. PROPOSED SETBACKS:

FRONT: 20 FEET;

REAR: 10.00' OR EASEMENT WIDTH WHICHEVER IS GREATER
SIDE: 5.00' OR EASEMENT WIDTH WHICHEVER IS GREATER

CORNER SIDE: 10.00'

THE AVERAGE LOT DEPTH SHALL BE USED TO DETERMINE THE DIMENSION USED WHEN
CALCULATING THE 20% LOT DEPTH FOR IRREGULAR LOTS.

2. AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.
COMMUNITY-PANEL NUMBER: 480334 0450 C MAP REVISED: JUNE 6, 2000

3. MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB LOCATED IN THE CENTER FRONT OF THE LOT.

4. BENCH MARK 1:

BENCH MARK 2: ALUMINUM DISK SET IN CONCRETE AT THE NORTHEAST CORNER OF LOT 75 OF THIS SUBDIVISION.
N: 16591112.080, E: 1145450.490. ELEV. 75.80

5. NO BUILDING IMPROVEMENTS SHALL BE PERMITTED ON OR WITHIN ANY EASEMENT IN THIS SUBDIVISION.

6. DRAINAGE: IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO.1 AND HIDALGO COUNTY REQUIREMENTS,
THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 220,067 CUBIC-FEET OR 5.052 ACRE-FEET. DETENTION WILL BE
ACCOMPLISHED BY WIDENING THE HIDALGO & CAMERON COUNTIES WATER CONTROL AND IMPROVEMENT DISTRICT #9.

7. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT.

8. NO CONSTRUCTION OF ANY STRUCTURES IS ALLOWED UNLESS FIRE PROTECTION IS IN PLACE.

9. SITE PLAN SHALL BE APPROVED BY THE CITY OF WESLACO PRIOR TO ISSUE OF BUILDING PERMIT.

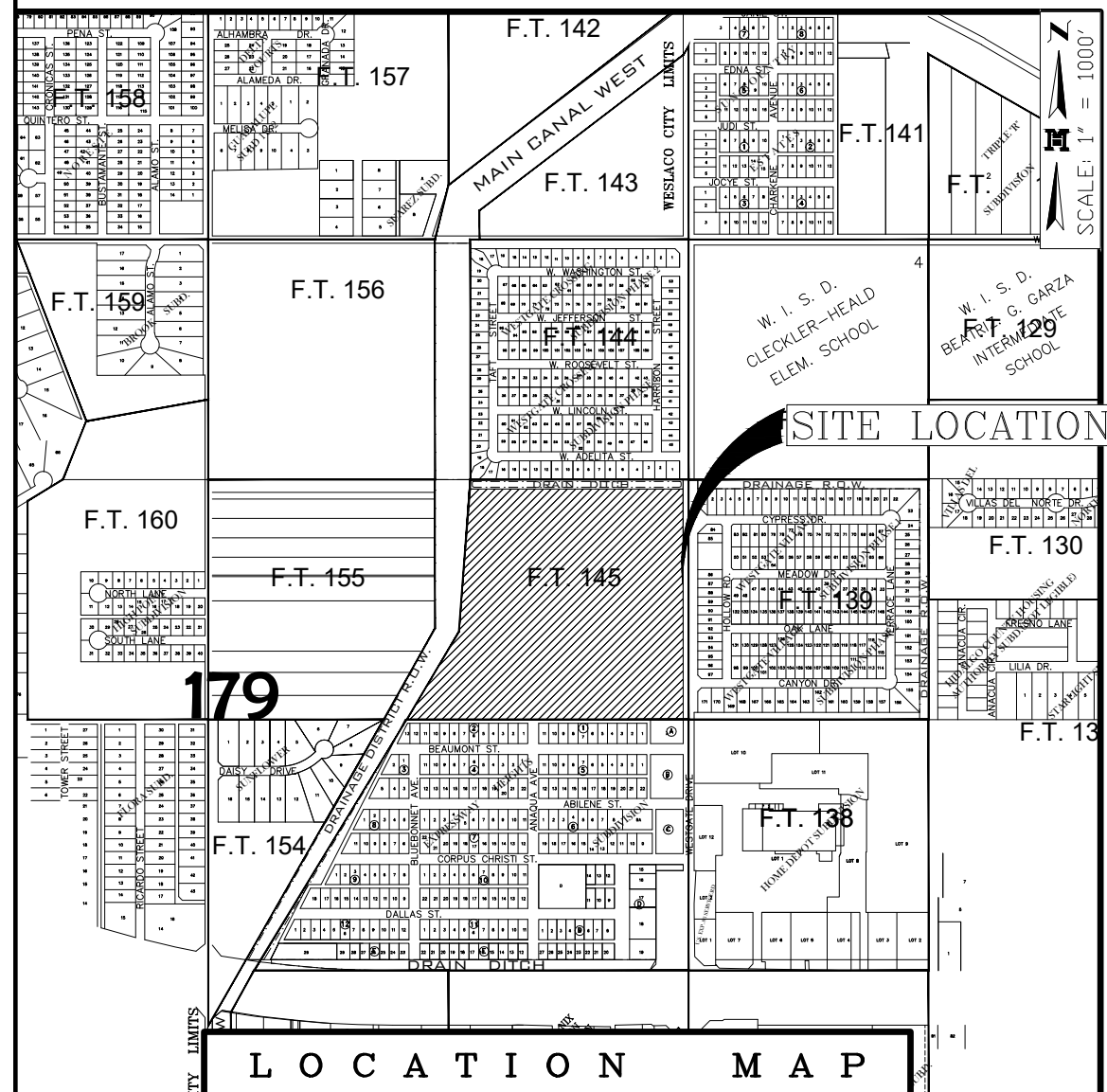
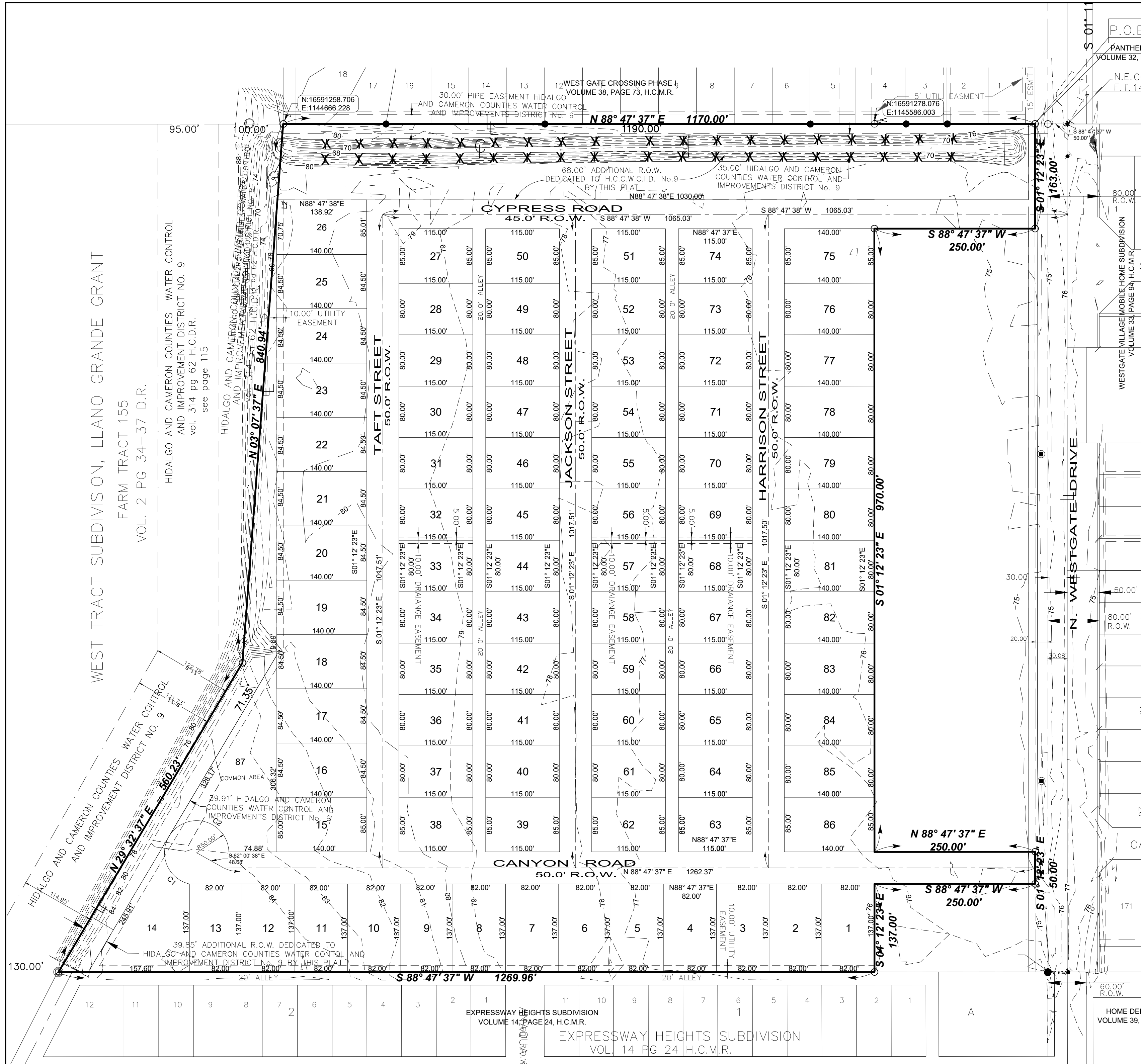
10. LAND USE SHALL COMPLY WITH CITY OF WESLACO R-2, DUPLEX AND APARTMENTS DISTRICT ZONING.

11. 5' SIDEWALK SHALL BE CONSTRUCTED ALONG WESTGATE. 4' SIDEWALK ON INTERIOR STREETS TO BE CONSTRUCTED AT
BUILDING PERMIT STAGE..

12. FOLLOW LANDSCAPE ORDINANCE AS PER CITY REQUIREMENTS.

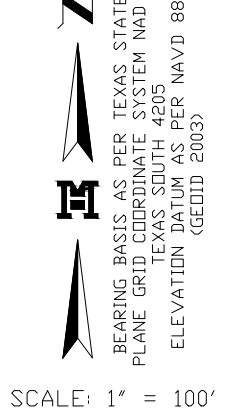
13. FOLLOW STREET LIGHT ORDINANCE AS PER CITY REQUIREMENTS.

14. SUBMIT STORM WATER POLLUTION PREVENTION PLAN FOR REVIEW AND APPROVAL.



Curve Table						
Curve	Length	Radius	Delta	Chord Length	Chord Direction	Tangent
C1	94.15'	50.00'	107° 53' 34"	S24° 23' 42"E	80.85'	68.68'
C2	128.98'	50.00'	147° 48' 08"	S78° 32' 46"E	96.08'	173.24'

Lot Area Table			
Lot #	SQ. FT.	Area	
14	17667.54	0.406	
26	11893.49	0.273	
87	24057.62	0.552	



- LEGEND**
- FOUND No.4 REBAR
 - FOUND SQUARE CUT
 - FOUND R.O.W. MARKER
 - ▲ SET COTTON PICKER SPINDLE
- R.O.W. - RIGHT OF WAY
H.C.M.R. - HIDALGO COUNTY MAP RECORDS
H.C.D.R. - HIDALGO COUNTY DEED RECORDS
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
S.W. COR. - SOUTHWEST CORNER
P.O.B. - POINT OF BEGINNING
W.D. - WARRANTY DEED
AC. - OF ONE ACRE

DRAWN BY: FDLC & CIRO DATE: _____
SURVEYED, CHECKED, _____ DATE: _____
FINAL CHECK _____ DATE: _____

MBPE FIRM # F-1435

MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MCINTYRE
EDINBURG, TX 78541
PH: (956) 381-0981
FAX: (956) 381-1839
ESTABLISHED 1947
www.meldenandhunt.com

PRINCIPAL CONTACTS				
NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: BLAKE J. BOX	P.O. BOX 3376	MCALLEN, TX. 78502-3376	(956) 381-0981	(956) 381-1839
ENGINEER: MARIO A. REYNA	115 W. MCINTYRE	EDINBURG, TX. 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: FRED L. KURTH	115 W. MCINTYRE	EDINBURG, TX. 78541	(956) 381-0981	(956) 381-1839

PLAT OF
THE VILLAGES AT WESTGATE SUBDIVISION
A RESUBDIVISION
OF 31.997 AC. BEING ALL
OF FARM TRACT 145, WEST TRACT S/D
VOLUME 2, PAGES 34-37, H.C.M.R.
CITY OF WESLACO, HIDALGO COUNTY, TEXAS

METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 31.997 ACRES SITUATED IN THE CITY OF WESLACO, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF FARM TRACT 145, BLOCK 179, WEST TRACT SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2, PAGES 34-37, HIDALGO COUNTY MAP RECORDS, WHICH SAID 31.997-ACRE BEING A PART OR PORTION OUT OF A LARGER 38.351-ACRE TRACT CONVEYED TO AZTEC COMMERCIAL, L.P., A TEXAS LIMITED PARTNERSHIP BY VIRTUE OF A WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1471975, HIDALGO COUNTY OFFICIAL RECORDS, SAID 31.997 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A COTTON PICKER SPINDLE FOUND ON THE NORTHEAST CORNER OF SAID FARM TRACT 145, BLOCK 179 AND THE SOUTHEAST CORNER OF WEST GATE CROSSING PHASE I, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 38, PAGE 73, HIDALGO COUNTY MAP RECORDS

THENCE, S 88° 47' 37" W ALONG THE NORTH LINE OF SAID FARM TRACT 145 A DISTANCE OF 50.00 FEET TO A NO. 4 REBAR SET TO THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS TRACT;

- THENCE, S 01° 12' 23" E ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF WESTGATE DRIVE, A DISTANCE OF 163.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, S 88° 47' 37" W A DISTANCE OF 250.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, S 01° 12' 23" E A DISTANCE OF 970.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, N 88° 47' 37" E A DISTANCE OF 250.00 FEET TO A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF WESTGATE DRIVE, FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, S 01° 12' 23" E ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF WESTGATE DRIVE, A DISTANCE OF 50.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHERMOST SOUTHEAST CORNER OF THIS TRACT;
- THENCE, S 88° 47' 37" W A DISTANCE OF 250.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, S 01° 12' 23" E A DISTANCE OF 137.00 FEET TO A NO. 4 REBAR SET ON THE SOUTH LINE OF SAID FARM TRACT 145, BLOCK 179 AND THE NORTH LINE OF EXPRESSWAY HEIGHTS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 14, PAGE 24, HIDALGO COUNTY MAP RECORDS, FOR THE SOUTHERNMOST SOUTHEAST CORNER OF THIS TRACT;
- THENCE, S 88° 47' 37" W ALONG THE SOUTH LINE OF SAID FARM TRACT 145, BLOCK 179 AND THE NORTH LINE OF SAID EXPRESSWAY HEIGHTS SUBDIVISION, A DISTANCE OF 1,269.96 FEET TO A NO. 4 REBAR SET ON THE SOUTHWEST CORNER OF SAID FARM TRACT 145, BLOCK 179, FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 29° 32' 37" E ALONG A WEST LINE OF SAID FARM TRACT 145, BLOCK 179, A DISTANCE OF 560.23 FEET TO A NO. 4 REBAR SET ON AN INSIDE CORNER OF SAID FARM TRACT 145, BLOCK 179, FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, N 03° 07' 37" E ALONG A WEST LINE OF SAID FARM TRACT 145, BLOCK 179, A DISTANCE OF 840.94 FEET TO A NO. 4 REBAR SET [NORTHING: 16591258.706, EASTING: 1144666.228] FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, N 88° 47' 37" E ALONG THE NORTH LINE OF SAID FARM TRACT 145, BLOCK 179 AND THE SOUTH LINE OF SAID WEST GATE CROSSING PHASE I, A DISTANCE OF 1,170.00 FEET, TO THE POINT OF BEGINNING, AND CONTAINING 31.997 ACRES OF LAND, MORE OR LESS.

GENERAL PLAT NOTES & RESTRICTIONS:

- PROPOSED SETBACKS:
FRONT: 20 FEET;
REAR: 10.00' OR EASEMENT WIDTH WHICHEVER IS GREATER
SIDE: 5.00' OR EASEMENT WIDTH WHICHEVER IS GREATER
CORNER SIDE: 10.00'
THE AVERAGE LOT DEPTH SHALL BE USED TO DETERMINE THE DIMENSION USED WHEN CALCULATING THE 20% LOT DEPTH FOR IRREGULAR LOTS.
- AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, COMMUNITY-PANEL NUMBER: 480334 0450 C MAP REVISED: JUNE 6, 2000
- MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB LOCATED IN THE CENTER FRONT OF THE LOT.
- BENCH MARK 1:
BENCH MARK 2: ALUMINUM DISK SET IN CONCRETE AT THE NORTHEAST CORNER OF LOT 75 OF THIS SUBDIVISION.
N: 16591112.080, E: 1145450.490, ELEV. 75.80
- NO BUILDING IMPROVEMENTS SHALL BE PERMITTED ON OR WITHIN ANY EASEMENT IN THIS SUBDIVISION.
- DRAINAGE: IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO.1 AND HIDALGO COUNTY REQUIREMENTS. THIS DEVELOPMENT WILL BE REQUIRED TO OBTAIN A TOTAL OF 220,067 CUBIC-Feet OR 5,052 ACRE-Feet DETENTION WILL BE ACCOMPLISHED BY WIDENING THE HIDALGO & CAMERON COUNTIES WATER CONTROL AND IMPROVEMENT DISTRICT #9.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT.
- NO CONSTRUCTION OF ANY STRUCTURES IS ALLOWED UNLESS FIRE PROTECTION IS IN PLACE.
- SITE PLAN SHALL BE APPROVED BY THE CITY OF WESLACO PRIOR TO ISSUE OF BUILDING PERMIT.
- LAND USE SHALL COMPLY WITH CITY OF WESLACO R-2, DUPLEX AND APARTMENTS DISTRICT ZONING.
- 5' SIDEWALK SHALL BE CONSTRUCTED ALONG WESTGATE. 4' SIDEWALK ON INTERIOR STREETS TO BE CONSTRUCTED AT BUILDING PERMIT STAGE.
- FOLLOW LANDSCAPE ORDINANCE AS PER CITY REQUIREMENTS.
- FOLLOW STREET LIGHT ORDINANCE AS PER CITY REQUIREMENTS.
- SUBMIT STORM WATER POLLUTION PREVENTION PLAN FOR REVIEW AND APPROVAL.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §4211.01 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

STATE OF TEXAS
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS: THE VILLAGES AT WESTGATE SUBDIVISION TO THE CITY OF WESLACO, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF WESLACO AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS AND UTILITY EASEMENTS THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF WESLACO EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS AND COMMON AREAS(S) SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE THE VILLAGES AT WESTGATE SUBDIVISION HOMEOWNERS ASSOCIATION.

AZTECA COMMERCIAL, LP
BY: AZTEC PARTNERS, L.L.C., A TEXAS LIMITED LIABILITY COMPANY, GENERAL PARTNER

BY: _____
BLAKE J. BOX, VICE PRESIDENT
P.O. BOX 3376, MCALLEN, TX. 78502-3376

STATE OF TEXAS
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED BLAKE J. BOX, AND KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

MARIO A. REYNA, RPE # 117368 RPLS # 4750
STATE OF TEXAS

DATE PREPARED: 11/24/16
ENGINEERING JOB # 16154.00

STATE OF TEXAS
COUNTY OF HIDALGO

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MISSION, TEXAS.

DATED THIS THE _____ DAY OF _____, 20____.

FRED L. KURTH, PROFESSIONAL LAND SURVEYOR No.4750
STATE OF TEXAS

DATE SURVEYED: 08/12/2002
T-638, PG. 16
SURVEY JOB # 02006.29

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF WESLACO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

APPROVED THIS THE _____ DAY OF _____, 20____.

CHAIRPERSON, PLANNING AND ZONING COMMISSION

MAYOR, CITY OF WESLACO

CITY CLERK

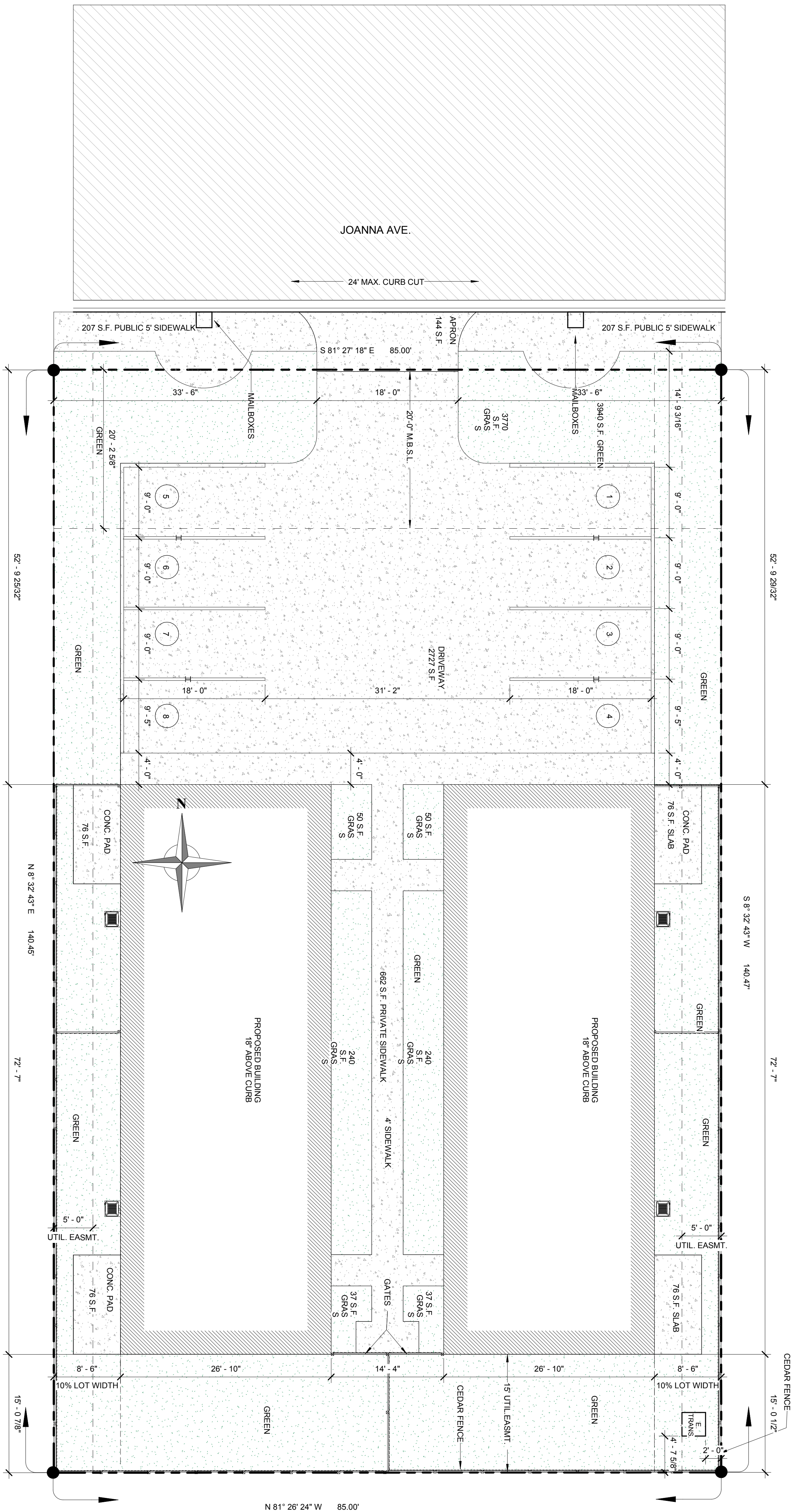


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



LOT 17 PROVIDENCE SUBD
PHARR, TX

WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING MATERIALS, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL VERIFY ALL NOTES AND MEASUREMENTS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS. DETAILS AND DRAWINGS ARE SUBMITTER'S TYPE AND THE DESIGNER OF THIS SET OF PLANS HEREBY NOTIFIES BOTH OWNER AND CONTRACTOR THAT HE, THE "DESIGNER", RELIEVES HIMSELF OF LIABILITIES TO PROBLEMS AT SITE IN REFERENCE TO SAID WORKING DRAWINGS. ALL OF THE DESIGN CONCEPTS, WORKING DRAWINGS AND DETAILS PLANS CONTAINED HEREIN REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF S.C. DRAFTING AND DESIGN, WHO EXPRESSLY RESERVES AND RETAINS THE RIGHT TO DUPLICATE, CONSTRUCTION OF THESE PLANS IN WHOLE OR IN PART TO ITS SOLE DISCRETION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT THE CONSTRUCTION OF THIS PROJECT MEETS ALL LOCAL STRUCTURAL CODES.

S.C. DRAFTING
AND DESIGN
1305 E JOYANA SUITE G
MCALLEN, TX 78504
(956)618-4880

FOURPLEX FOR:
VENTURO INTEREST LLC
LOT 17
PROVIDENCE SUB'D
PHARR, TX

PROJ. NO. 2012-006
DRAWN BY: S.C.
CHECKED BY: S.C.

Venturo Int. LLC
Fourplex

SHEET NO.

7

Scale: 1/8" = 1'-0"

4-Plex Lots Priced at \$59,900



Gated 4-Plex Community

VILLAGES
AT WESTGATE



INFORMATION

- Weslaco's Newest gated 4-plex community is located on Westgate, 1/2 a mile north of Interstate 2.
- Architecturally controlled subdivision with uniformity for an aesthetically pleasing environment.
- Gated Subdivision
- Private park area inside subdivision
- 86 (4-plex) lots for sale
- Major shopping and restaurants close by
- Less than a mile to Horizon Montessori III
- Across the street from Cleckler Heald Elementary and Beatrice G. Garza Middle School
- Less than 1/2 mile from Interstate 2
- Only minutes from STCC Mid Valley Campus



Call Now to Reserve: 956-227-0505

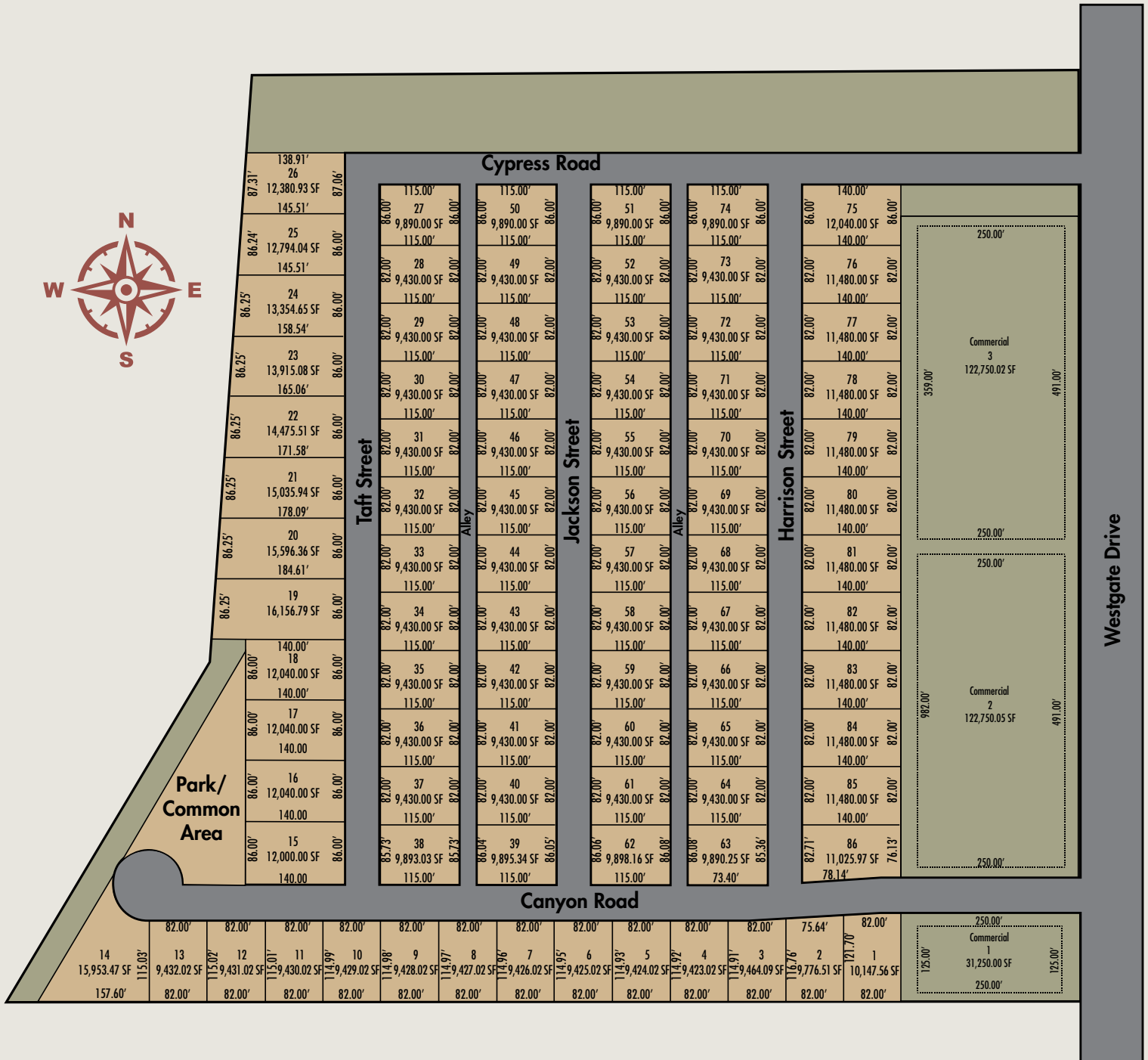
Another Project by



Weslaco's Newest Gated 4-Plex Community



VILLAGES AT WESTGATE



Call Now to Reserve: 956-227-0505